



Department of Development Services
205 Lawrence Street
Marietta, Georgia 30060
Rusty Roth, AICP, Director

REZONING APPLICATION ANALYSIS

ZONING CASE #: Z2022-02

LEGISTAR: 20211028

LANDOWNERS: Voyles Family Partnership, LLLP
2103 Cobb Parkway SE
Marietta, GA 30067

APPLICANT: Steven T. Ellis
3678 N Peachtree Road
Atlanta, GA 30341

AGENT: N/A

PROPERTY ADDRESS: 2079 Cobb Parkway SE
Smyrna, GA 30080

PARCEL DESCRIPTION: 17 781 00040

AREA: 2.066 acres total

COUNCIL WARD: 7A

EXISTING ZONING: GC (General Commercial) - County

REQUEST: CRC (Community Retail Commercial) – City

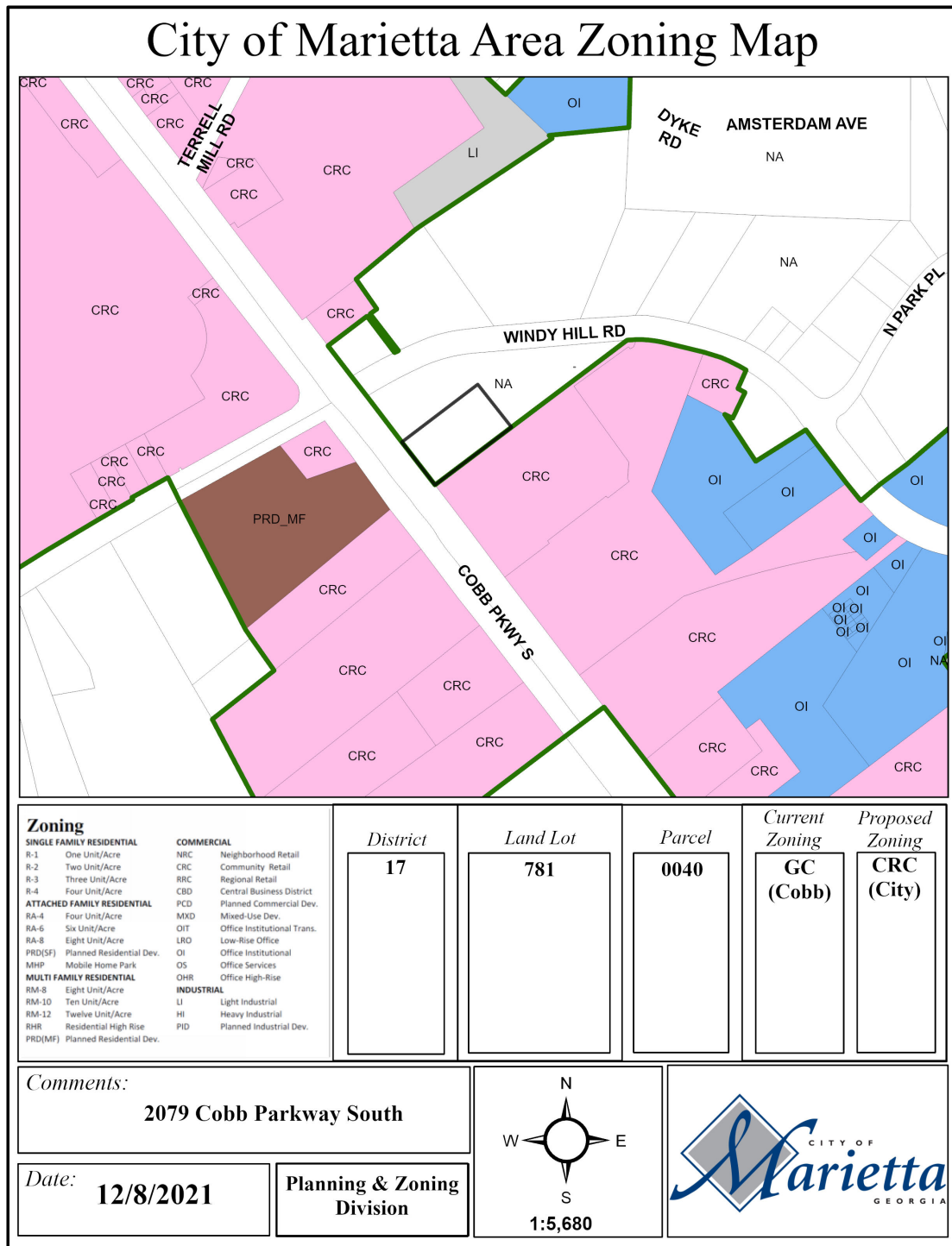
FUTURE LAND USE: CAC (Community Activity Center) – City
RAC (Regional Activity Center) – County

REASON FOR REQUEST: The applicant is requesting the rezoning and annexation of the property at 2079 Cobb Parkway SE from GC (General Commercial/Cobb County) to CRC (Community Retail Commercial) in order to combine with and expand the Hyundai Dealership at the neighboring property.

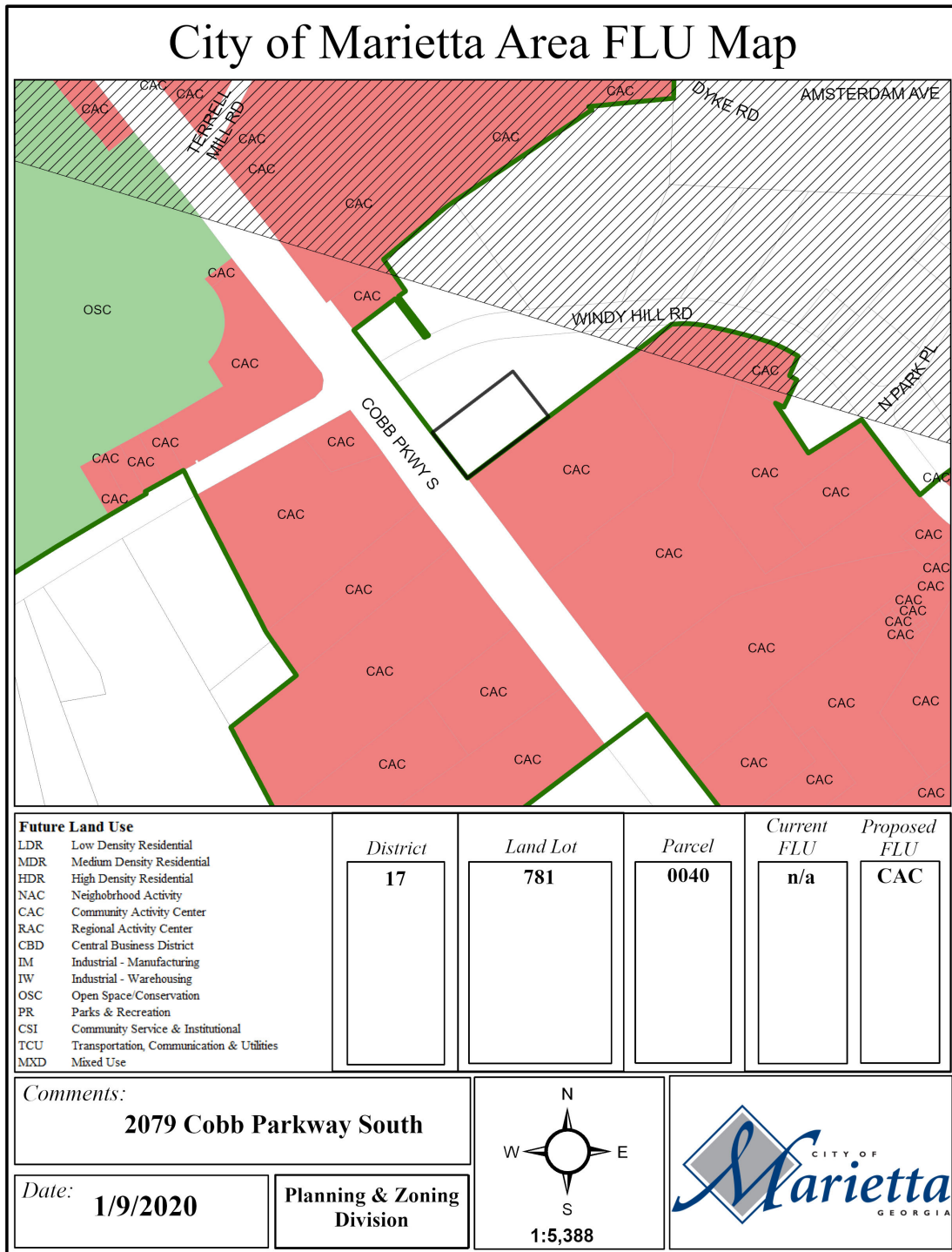
PLANNING COMMISSION HEARING: Tuesday, January 4, 2022 – 6:00pm

CITY COUNCIL HEARING: Wednesday, January 12, 2022 – 7:00pm

MAP



FLU MAP



PICTURES OF PROPERTY



Front Entrance of Subject Property at 2079 Cobb Parkway SE



Rear Entrance of Subject Property



Neighboring Ed Voyles Dealership East of Subject Property



Front Entrance of Subject Property

STAFF ANALYSIS

Location Compatibility

The applicant, Steven T. Ellis, is requesting the rezoning and annexation of the subject property 2079 Cobb Parkway SE into the city. The property is approximately 2.066 acres and located near the corner of Cobb Parkway SE and Windy Hill Road. The property is zoned GC (General Commercial) and located within unincorporated Cobb County. The property north of the subject property is also located within unincorporated Cobb County and is also zoned GC; the properties to the east and south of the subject property are located within Marietta City limits and are zoned CRC (Community Retail Commercial); the properties to the west are also located within City limits and are zoned PRD-MF (Planned Residential Development – Multi Family) and CRC.

Use Potential and Impacts

The applicant wishes to annex into the city and rezone the property at 2079 Cobb Parkway SE. The applicant also wishes to consolidate the subject property with the neighboring parcel (2103 Cobb Parkway SE), also owned by the Voyles Family Partnership LLLP - operating as a Honda dealership, as part of a larger Ed Voyles campus. Currently, the site is occupied by a vacant building that was previously used as a Haverty's furniture store.

The existing structure (approximately 39,000 square feet) is to be renovated and used as the new Ed Voyles Hyundai dealership with internal drive access between both Voyles lots. Plans submitted with the application show the Hyundai dealership will be comprised of a showroom, service bays, and office spaces. It should be noted that the existing survey provided shows a non-conforming minor side yard setback - therefore, the following variance will be required:

- Variance to the northern minor side yard setbacks from 15ft to 10ft for a property zoned CRC [§708.16(H)]

Based on the initial plans that were submitted, the following will need to be verified upon permitting: impervious surface coverage, adherence to the tree protection ordinance, floor area ratio, as well as parking requirements and signage. The applicant has stated that there is a total of 58 parking spaces at 2079 Cobb Pkwy SE, however only 39 spaces are visible on the site plan. In addition, the individual parking space dimensions are only measuring 9'x18' instead of the 9'x20' requirement – a variance will be required.

Zoning Ordinance states there should be *one parking space per 200 square feet of repair space plus one per 400 square feet of showroom/office space* – bringing the total required spaces to 127 (90 spaces for repair space and 37 spaces for office/showroom area) for this site. There is also a proposed “vehicle display pad” less than ten (10) feet from the front property line. The CRC Zoning District specifically states that, “*All vehicles shall be set back at least 10 feet from the street right-of-way line*” when used for the purpose of automobile/trailer/boat sales. Should the applicant wish to keep the display parking pad as well as the current parking configuration along the front – the following variances are



required:

- Variance to allow parking within ten (10) feet of the front property line [§708.16 (B.6.b)]
- Variance to reduce the minimum number of parking spaces for automobile sales from 127 to 44 [§716.07 (J)]
- Variance to reduce the individual parking space dimensions from 9'x20' to 9'x18' [§716.08 (C.4)].

The City is seeking a Future Land Use designation CAC (Community Activity Center) of CAC for this property, which is consistent with the FLU and general use of the surrounding area. The purpose of CAC is to provide retail and service needs of several neighborhoods and communities. These areas are typically located near collector and arterial roads.

Environmental Impacts

There is no floodplain, streams, wetlands, or any indication of endangered species on the site.

Depending on the appraised building value vs. the cost of construction, the site may or may not need to conform to the current zoning ordinance and Tree Protection and Landscape Ordinance [Section 712.08 (G.2.a.)]. A ten (10) foot wide planted border strip along the front portion of the subject property may be required.

Economic Functionality

The subject property is a highly desired location with great potential. The property was previously used as a Haverty's Furniture store; however, staff cannot tell for how long the property was used as a furniture store because it is located in the County. Regardless, the proposed use as a car dealership along Cobb Parkway reinforces the identity and performance of the corridor as a destination for car sales. Therefore, the requested zoning is an economically reasonable zoning classification.

Infrastructure

Cobb County Water will continue to serve the subject property for water and sewer, and Georgia DOT would continue to be the jurisdiction handling any modifications to the entrance onto Cobb Parkway South.

The intersection of Cobb Parkway and Windy Hill Road is heavily congested. Currently, there is one curb cut on the subject property. The applicant has stated that they would like to develop internal access drives between the two (2) neighboring properties.

Overhead Electrical/Utilities

The proposed development does not interfere with or propose to relocate the existing overhead utility poles.



History of Property

The property to be annexed does not have a history of any rezoning or variances because it is not located within the City.

Other Issues

The ordinance limits the maximum height, square footage, and sign type for freestanding signs. The applicant's proposed site plan shows a non-conforming pylon sign located in the southwestern corner of the front property line. Pylon signs are not allowed for any new development within the city; only freestanding or monument style – as a result, the following variance will be required should the applicant wish to continue with a pylon sign:

- Variance to allow for a newly developed non-conforming pylon sign on a property zoned CRC [§714.04 (F.1.)]



ANALYSIS & CONCLUSION

The applicant, Steven T. Ellis, is requesting the rezoning and annexation of the subject property 2079 Cobb Parkway SE. The property is approximately 2.066 acres and located at the corner of Cobb Parkway SE and Windy Hill Road. The property is zoned GC (General Commercial) and is located within unincorporated Cobb County. The property north of the subject property is also located within unincorporated Cobb County and is zoned GC; the properties to the east and south of the subject property are located within Marietta City limits and are zoned CRC; the properties to the west are also located within City limits and are zoned PRD-MF and CRC.

The applicant also wishes to consolidate the subject property with the neighboring parcel (2103 Cobb Parkway SE), also owned by the Voyles Family Partnership LLLP - operating as a Honda dealership, as part of a larger Ed Voyles campus. Currently, the site is occupied by a vacant building that was previously used as a Haverty's furniture store. Plans submitted with the application show the Hyundai dealership will be comprised of a showroom, service bays, and office spaces. with internal drive access between both Voyles lots.

Depending on the appraised building value vs. the cost of construction, the entire site and building may need to conform to the current zoning ordinance. More information is needed but there may be compliance issues with impervious surface coverage, floor area ratio, tree protection ordinance, parking requirements, and signage. The following variances may be required for this rezoning request:

- Variance to the northern minor side yard setbacks from 15ft to 10ft for a property zoned CRC [*§708.16(H)*]
- Variance to reduce the individual parking space dimensions from 9'x20' to 9'x18' [*§716.08 (C.4)*]
- Variance to allow parking ten (10) feet within the front property line [*§708.16 (B.6.b)*]
- Variance to reduce the minimum number of parking spaces for automobile sales from 127 to 44 [*§716.07 (J)*]
- Variance to allow for a non-conforming pylon sign remain on a property zoned CRC [*§714.04 (F.1)*]

The City is seeking a Future Land Use designation CAC (Community Activity Center) of CAC for this property, which is consistent with the FLU and general use of the surrounding area. The purpose of CAC is to provide retail and service needs of several neighborhoods and communities. These areas are typically located near collector and arterial roads.

Prepared by: _____

Approved by: _____

DATA APPENDIX

COBB COUNTY WATER & WASTEWATER

DRAINAGE AND ENVIRONMENTAL CONCERNS

Does flood plain exist on the property:	No
What percentage of the property is in the flood plain?	N/A
What is the drainage basin for the property?	Rottenwood Creek
Is there potential for the presence of wetlands as determined by the U.S. Environmental Protection Agency?	No
If so, is the use compatible with the possible presence of wetlands?	N/A
Do stream bank buffers exist on the parcel?	No
Are there other topographical concerns on the parcel?	No
Are there storm water issues related to the application?	No
Potential presence of endangered species in the area?	No

Additional Comments:

- Stormwater management facility with runoff reduction volume and stormwater maintenance agreement will be required.

TRANSPORTATION

What is the road affected by the proposed change?	Cobb Pkwy
What is the classification of the road?	Arterial
What is the traffic count for the road?	Unknown
Estimated # of trips generated by the proposed development?	Unknown
Estimated # of pass-by cars entering proposed development?	Unknown
Do sidewalks exist in the area?	Yes
Transportation improvements in the area?	No
If yes, what are they?	N/A



DATA APPENDIX CONTINUED

EMERGENCY SERVICES

Nearest city or county fire station from the development? 55 1160 Franklin Gtway

Distance of the nearest station? 2.2 miles

Most likely station for 1st response? 55

Service burdens at the nearest city fire station (under, at, or above capacity)? Under

Comments:

If building is not currently protected by automatic fire sprinklers, renovations and/or change of occupancy/processes may require building to be sprinklered.

MARIETTA POWER - ELECTRICAL

Does Marietta Power serve this site? Yes _____ No x

If not, can this site be served? Yes _____ No _____

What special conditions would be involved in serving this site?

Large-load customer choice.

Additional comments:

Cannot find it on our map

AICUZ – NOISE OVERLAY

This property is located within the Noise Zone for Dobbins Air Reserve Base. Dobbins has been notified and comments will be forthcoming.



Department of Development Services
205 Lawrence Street
Marietta, Georgia 30060
Phone (770) 794-5440

APPLICATION FOR REZONING

(OWNER/APPLICANT OR REPRESENTATIVE MUST BE PRESENT AT ALL PUBLIC HEARINGS)
(NOTE: CORRESPONDENCE IS HANDLED VIA EMAIL UNLESS OTHERWISE REQUESTED)

For Office Use Only:

Application #: 2022-02 Legistar #: 20211028 PZ #: 21-167
Planning Commission Hearing: January 4th, 2022 City Council Hearing: January 12, 2022

Owner's Name Voyles Family Partnership LLLP

Documentation showing names of Principals authorized to sign application is **required for Corporations.**

EMAIL Address: vvoyles@edvoyles.com

Mailing Address 2103 Cobb Parkway SE Zip Code: 30067 Telephone Number 770.701.1606

COMPLETE ONLY IF APPLICANT IS NOT OWNER:

Applicant: Steven T. Ellis

EMAIL Address: stellis@probdg.com

Mailing Address 3678 North Peachtree Road, Atlanta, Georgia Zip Code: 30341

Telephone Number 770.318.3225 Add'l Email Address: _____

Address of property to be rezoned: 2079 Cobb Parkway

Land Lot (s) 781 District 17 Parcel 00040 Acreage 2.066 Ward 2 Future Land Use: RAC
Present Zoning Classification: GC Proposed Zoning Classification: CRC (country)
(country) (city)

REQUIRED INFORMATION

Applicant must submit the following information by 4:00 p.m. on or before the application deadline. Failure to submit any item, or any additional information that might be requested, on or before the deadline will result in the application being held until the next scheduled meeting of the Planning Commission.

- The original application must be submitted with ALL ORIGINAL SIGNATURES - Copies of the application or signature(s) will NOT be accepted.** ALL rezoning submittals must include proposed plans, supplementary material, etc. in Adobe Acrobat on computer disk or jump drive.
- Legal Description. Legal description must be in a WORD DOCUMENT and included in disc or jump drive.
- Application fee (\$500)
- Copy of the deed that reflects the current owner(s) of the property. Documentation showing names of Principals authorized to sign application is **required for Corporations.**
- Copy of current tax bill showing payment or a certification from the City of Marietta Tax Office stating that taxes have been paid.
- Site plan, plat or survey prepared by an architect, engineer (P.E. or Civil Engineer), Landscape Architect or Land Surveyor whose state registration is current and valid, and whose seal shall be affixed to the site plan/plat/survey.

Copies Required: One (8 1/2" x 11") -or- One (11" x 17") drawn to scale.

Optional: Additional Plat size: (24"x 36"). If providing (24"x 36") then 5 copies REQUIRED of the plat size pages.

- A detailed written description of the proposed development/project must be submitted with the application.
- REZONING REQUESTS TO PRD, PCD, PID, or MXD MUST INCLUDE THE GENERAL PLAN CHECKLIST WITH THIS APPLICATION.**

FINANCIAL INTEREST

The **Applicant** herein certifies that he/she ☐ has ☒ has not a financial interest in the property which is ten percent (10%) or more.

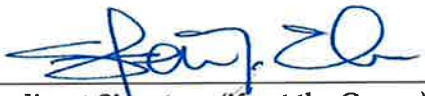
Steven T. Ellis

Applicant Print Name


Signature of Applicant

OWNER / APPLICANT CERTIFICATION

- The Owner or Applicant certifies that all information in this application, and all information furnished in support of this application, is true and complete to the best of the Applicant's knowledge and belief. Should any portion not be true, then the application may be rejected.
- Penalty for false or fraudulent statement: Whoever, in any matter, knowingly and willingly falsifies or makes any false, fictitious or fraudulent statement of representatives concerning this application shall be denied the request stated in this application.
- The Owner or Applicant hereby gives permission to enter on the property for inspection during the time application is pending.
- **CAMPAIGN CONTRIBUTIONS:** The Owner and Applicant herein certify that he/she ☐ has ☒ has not made campaign contributions or gifts aggregating \$250.00 or more to the Mayor, any member of Council or any member of the Planning Commission within the two (2) years preceding the filing of this application.


Applicant Signature (if not the Owner)

Steven T. Ellis

Please Print


Owner Signature

Valery Voyles

Please Print

2103 Cobb Parkway SE, Marietta, Georgia 30067


Mailing Address

November 15, 2021

Date

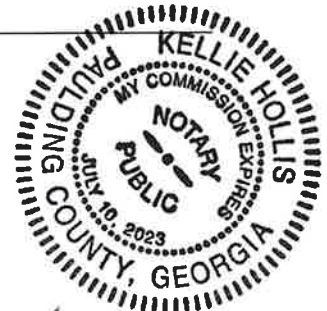
Signed, sealed and delivered in the presence of:

Kellie Hollis



My Commission Expires:

7/10/2023



Note: Owner, Applicant or Representative must be present at meeting in order for case to be heard.



November 17, 2021

Ms. Shelby Little
City of Marietta
205 Lawrence Street
Marietta, GA 30060

Re: Voyles Family Partnership
2079 Cobb Parkway South

Dear Ms. Little:

Please accept this letter as a formal request for consideration of Annexation and Rezoning of the Old Haverty's Property now owned by the Voyles Family Partnership. The site is currently zoned GC (General Commercial) under the jurisdiction of Cobb County. Our request is for the property to be annexed into the City of Marietta with a zoning category of CRC (Community Retail Commercial). The building is planned to be renovated into the new Ed Voyles Hyundai Dealership, it is our desire to combine this parcel with that of 2103 Cobb Parkway South and add internal drive connections between the parcels. We understand that the combination process as well as, the engineering and permitting of the drive connections will be after the annexation and rezoning have been approved.

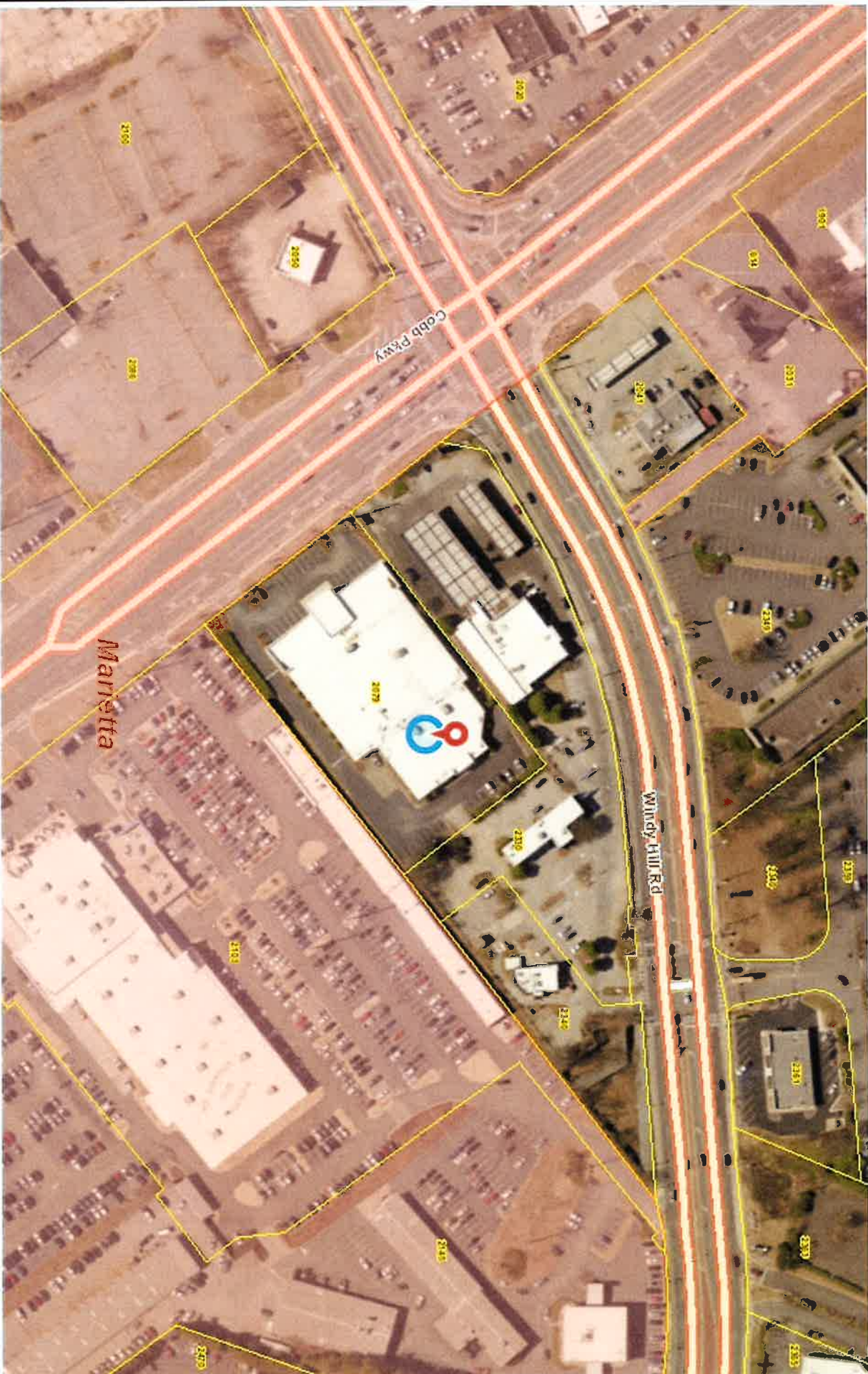
Respectfully,

A handwritten signature in blue ink, appearing to read "Steven T. Ellis", is positioned above the typed name.

Steven T. Ellis, AIA
Vice President
PRO Building Systems



Cobb County Georgia Online Mapping



400.0

0

200.00

400.00 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Cobb County Georgia

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

1:2,400



Map Notes:



Cobb County Georgia Online Mapping



1,504.7
0 752.33 1,504.7 Feet
WGS_1984_Web_Mercator_Auxiliary_Sphere
© Cobb County Georgia

This map is a user generated static output from an online mapping site and for reference only. Data layers that appear on this map may not be accurate, current, or otherwise reliable.
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1:9,028



Map Notes:



COBB COUNTY
BOARD OF COMMISSIONERS

100 Cherokee Street, Suite 300
Marietta, Georgia 30090-7000
770.528.3305 • fax: 770.528.2606

Lisa Cupid
Chairwoman

CERTIFIED MAIL
7020 0090 0000 6545 2918

December 10, 2021

The Honorable Steve Tumlin
Mayor
City of Marietta
205 Lawrence Street
Marietta, Georgia 30060

Re: Petition for Annexation– Land Lot 781, 17th District, Parcel 0040; 2079 Cobb Parkway South, Cobb County, Georgia; Notice of Non-Objection

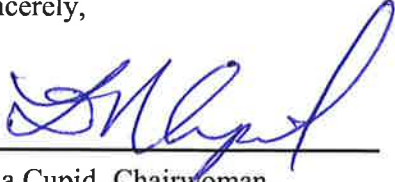
Dear Mayor Tumlin:

We are in receipt of the above-referenced annexation request. Please accept this response to the annexation proposal for 2079 Cobb Parkway South. The subject parcel has the required contiguity for annexation. Annexing the parcel would not result in the creation of a new unincorporated island. There are no Cobb County-owned facilities or infrastructure located on the subject parcel. The annexation of the subject property would conform to the provisions of O.C.G.A. § 36-36-4 as it relates to annexing land while avoiding the creation of new unincorporated islands. Based on this information, Cobb County does not object to the pending request in accordance with the Intergovernmental Agreement and O.C.G.A. § 36-36-112.

In summary, please accept this letter as the County's formal **notice of non-objection** to the proposed annexation. Please see the attached comments from Cobb County departments. If you have questions or need any additional information, please contact David Webb, Intergovernmental Coordinator at 770-528-2199.

Re: Petition for Annexation– Land Lot 781, 17th District, Parcel 0040; 2079 Cobb Parkway South, Cobb County, Georgia; Notice of Non-Objection

Sincerely,



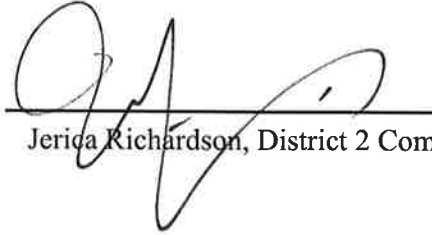
Lisa Cupid, Chairwoman

cc: Jackie McMorris, County Manager – Via Email
Jimmy Gisi, Deputy County Manager – Via Email
H. William Rowling, Jr., County Attorney- Via Email
Brian Johnson, Senior Associate County Attorney, Via Email
Jessica Guinn, Community Development Director – Via Email
David Webb, Intergovernmental Coordinator– Via Email
Pamela Mabry, County Clerk – Via Email
Rusty Roth, Planning & Zoning Director, City of Marietta– Via E-Mail
Shelby Little, Planning and Zoning Manager, City of Marietta– Via E-Mail

Re: Petition for Annexation– Land Lot 781, 17th District, Parcel 0040; 2079 Cobb Parkway South, Cobb County, Georgia; Notice of Non-Objection

[signature page continued]

Sincerely,

A handwritten signature in black ink, appearing to read 'Jerica Richardson', is written over a horizontal line.

Jerica Richardson, District 2 Commissioner

cc: Jackie McMorris, County Manager – Via Email
Jimmy Gisi, Deputy County Manager – Via Email
H. William Rowling, Jr., County Attorney- Via Email
Brian Johnson, Senior Associate County Attorney, Via Email
Jessica Guinn, Community Development Director – Via Email
David Webb, Intergovernmental Coordinator– Via Email
Pamela Mabry, County Clerk – Via Email
Rusty Roth, Planning & Zoning Director, City of Marietta– Via E-Mail
Shelby Little, Planning and Zoning Manager, City of Marietta– Via E-Mail

Re: Petition for Annexation– Land Lot 781, 17th District, Parcel 0040; 2079 Cobb Parkway South, Cobb County, Georgia; Notice of Non-Objection

[signature page continued]

Sincerely,

A handwritten signature in dark ink, reading "JoAnn K. Birrell". The signature is fluid and cursive, with the first name "JoAnn" and last name "Birrell" clearly distinguishable.

JoAnn K. Birrell, District 3 Commissioner

cc: Jackie McMorris, County Manager – Via Email
Jimmy Gisi, Deputy County Manager – Via Email
H. William Rowling, Jr., County Attorney- Via Email
Brian Johnson, Senior Associate County Attorney, Via Email
Jessica Guinn, Community Development Director – Via Email
David Webb, Intergovernmental Coordinator– Via Email
Pamela Mabry, County Clerk – Via Email
Rusty Roth, Planning & Zoning Director, City of Marietta– Via E-Mail
Shelby Little, Planning and Zoning Manager, City of Marietta– Via E-Mail

Re: Petition for Annexation– Land Lot 781, 17th District, Parcel 0040; 2079 Cobb Parkway South, Cobb County, Georgia; Notice of Non-Objection

[signature page continued]

Sincerely,



Monique Sheffield, District 4 Commissioner









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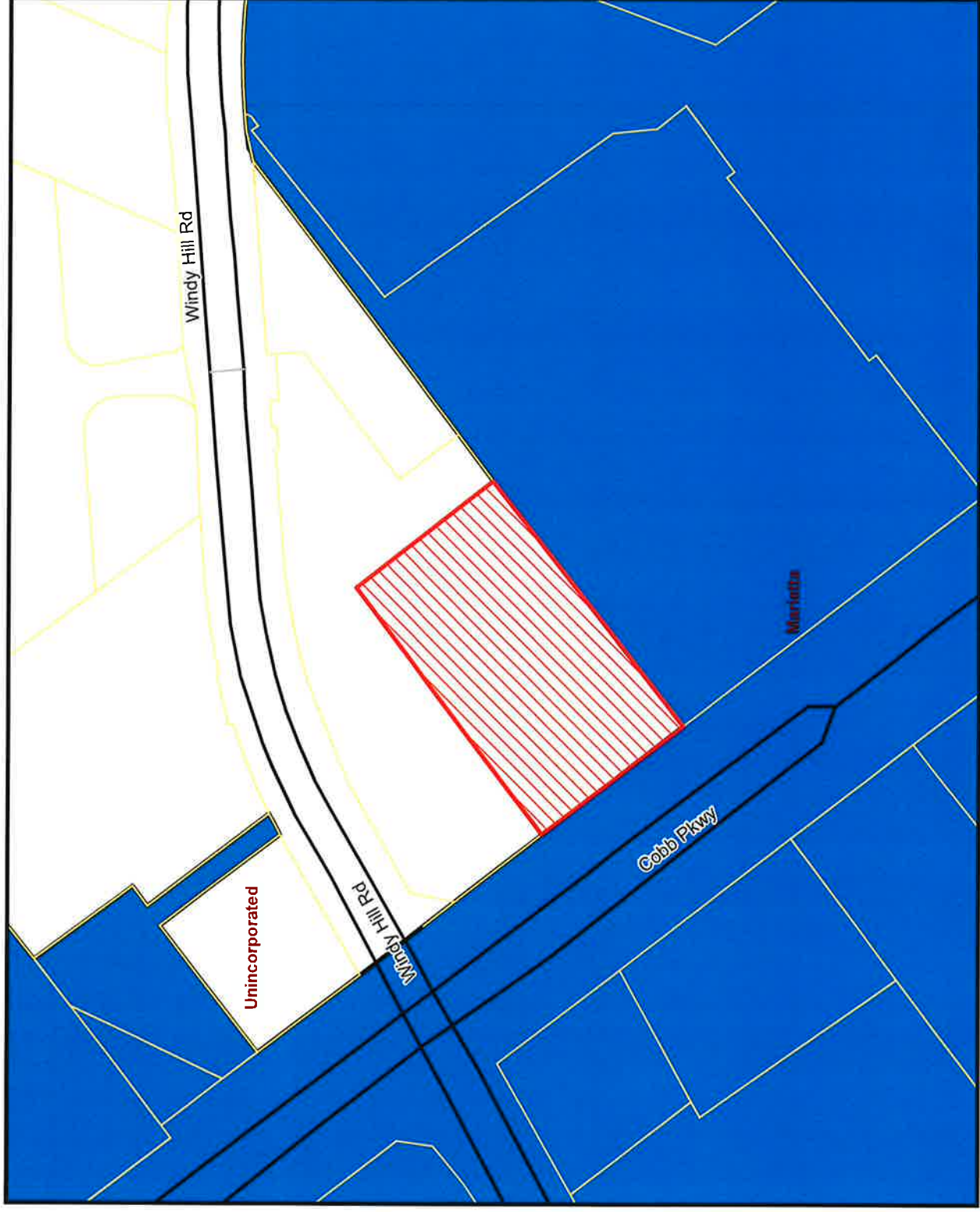
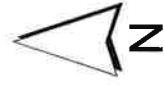
De/Annexation Location Map

December 2021

17th District
Land Lot 0781,
Parcel 0040

Legend

-  Annexed Areas
-  Acworth
-  Austell
-  Kennesaw
-  Marietta
-  Powder Springs
-  Smyrna
-  Unincorporated



County Staff Comments- Marietta Annexation- 2079 Cobb Parkway South -December 2021

Cobb County Water System

Water service for the parcel is provided by the existing CCWS water main in Cobb Parkway.

Wastewater for the parcel can be treated at the R.L. Sutton WRF where there currently is sufficient capacity. Permit issuances are subject to continued WRF compliance with EPD discharge requirements.

Because CCWS will continue to own and maintain water and sewer facilities in public rights-of-way and public easements, there would be no infrastructure loss.

Tim Davidson, P.E.
Plan Review Engineer
Cobb County Water System
660 South Cobb Drive
Marietta, GA 30060
770-419-6312

Planning- Historic Preservation

I have no comment.

Mandy Elliott

Planner III/Historic Preservation Planner
Cobb County Community Development Agency
Planning Division
P. O. Box 649
Marietta, GA 30064
www.cobbcounty.org
770-528-2010

Cobb County Fire Marshal's Office

No objection to the proposed annexation.

Rock Toler

Deputy Fire Marshal – South Inspection District
Cobb County Fire Marshal's Office
(770) 528-8360
1595 County Services Pkwy
Marietta GA, 30008

Cemetery Preservation

No Comments

Helga Hong

Cobb County Cemetery Preservation Commission

Stormwater Management

Stormwater Management has no objection or comments.

Thanks
Carl

Thanks
Carl
L. Carl Carver, PE
Engineer IV
Cobb County Water System
Stormwater Management Division
680 South Cobb Drive
Marietta, GA 30060-3113
Office: (770) 419-6453

GIS

No objections from a GIS/Addressing perspective.

Thanks,
Brad Gordon
GIS Supervisor
Community Development - GIS Section
Cobb County Government
P (770) 528.2002

Cobb DOT

Cobb Parkway is a Georgia Department of Transportation roadway. The applicant will need to coordinate with GDOT to ensure the driveway access meets GDOT standards.

Thanks,

James M. Washington
Site Plan Review
Cobb County Department of Transportation
1890 County Services Parkway
Marietta, Georgia 30008
(770) 528-1644

CITY OF MARIETTA

PUBLIC NOTICE OF REZONINGS and CODE AMENDMENTS

The City of Marietta hereby gives notice that a public hearing will be held on the following by the Planning Commission

on **Tuesday, January 4th, 2022, 6:00 P.M.**, City Hall, for a recommendation to the City Council at their meeting on **Wednesday, January 12th, 2022, 7:00 p.m.**, City Hall, for a final decision to be made.

Z2022-02 [REZONING] VOYLES FAMILY PARTNERSHIP, LLLP. is requesting the rezoning of 2.066 acres located in Land Lot 781, District 17, Parcel 0040 of the 2nd Section, Cobb County, Georgia, and being known as 2079 Cobb Parkway South from GC (General Commercial - County) to CRC (Community Retail Commercial - City). Ward 7A.

CA2022-01 [CODE AMENDMENT] VOYLES FAMILY PARTNERSHIP, LLLP. In conjunction with the requested annexation of property located in Land Lot 781, District 17, Parcel 0040 of the 2nd Section, Cobb County, Georgia and being known as 2079 Cobb Parkway South, the City of Marietta proposes to designate the Future Land Use of said property as CAC (Community Activity Center). Ward 7A.

A description and plat of the property sought for the rezoning, special land use permit, and variances are on file in the Planning and Zoning Office, City Hall, and is available for inspection between 8:00 AM. and 5:00 P.M., Monday through Friday. Anyone wishing to attend may do so and be heard relative thereto. You may also review the property file at www.mariettagov.gov and enter the case# in the search box.

For additional information please call the Planning and Zoning Office (770) 794-5669


Accessibility to Meetings: If you believe you may need the City/BLW to provide special accommodations in order to attend/or participate in any of the above meetings, please call ADA Coordinator at 770-794-5558 no later than 48 hours before the date of the above meeting.


City of Marietta
205 Lawrence Street
Marietta, Georgia 30060




2079 Cobb Parkway S.	C	1.954
Property Owner:	Voyles Family Partnership, LLLP	
Applicant:	Steven T. Ellis	
City Council Hearing Date:	01/12/2022	
Planning Commission Hearing Date:	01/04/2022	
BZA Hearing Date:	Case Number: Z2022-02	
Comments:		
City of Marietta Planning & Zoning		

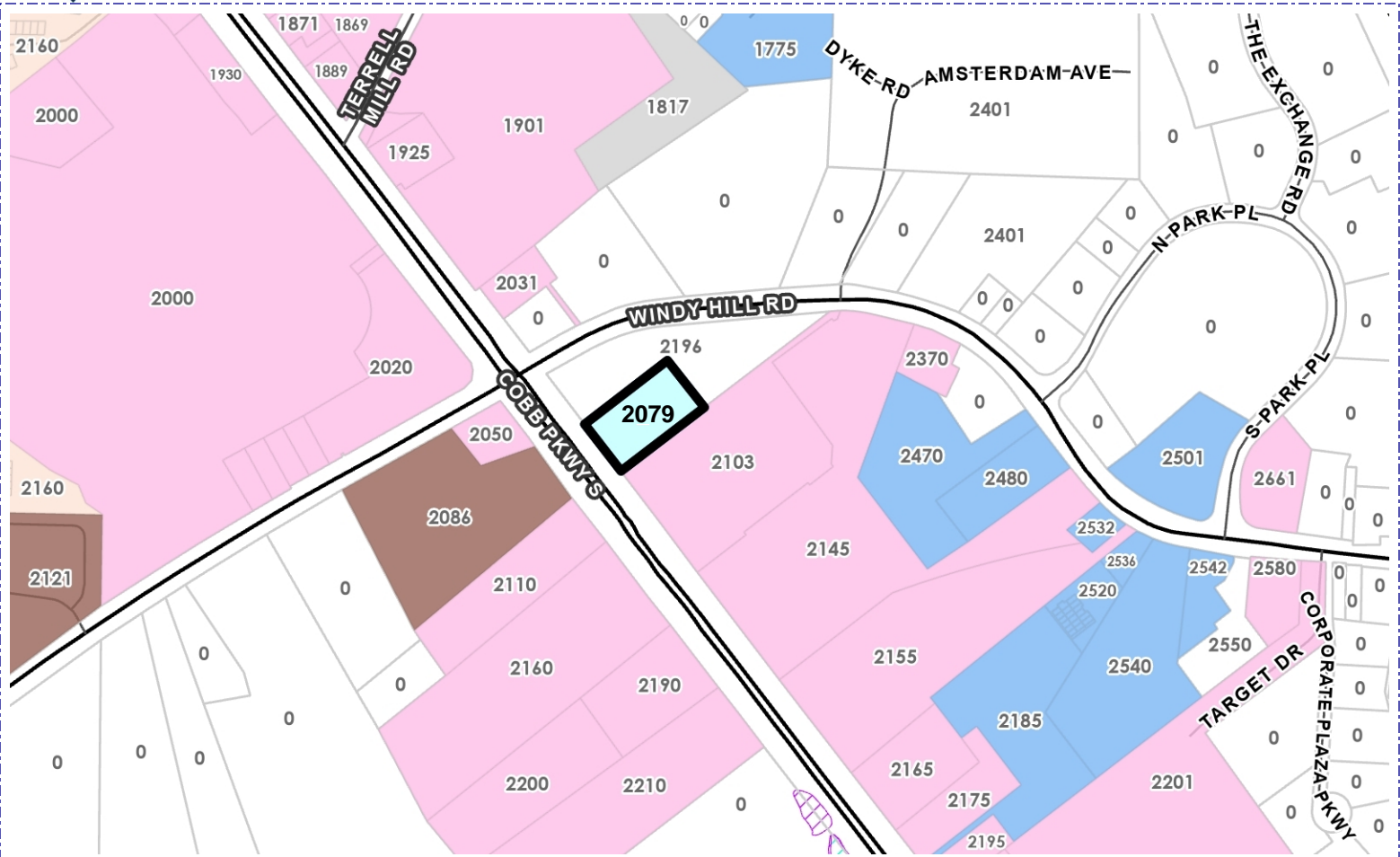
Legend

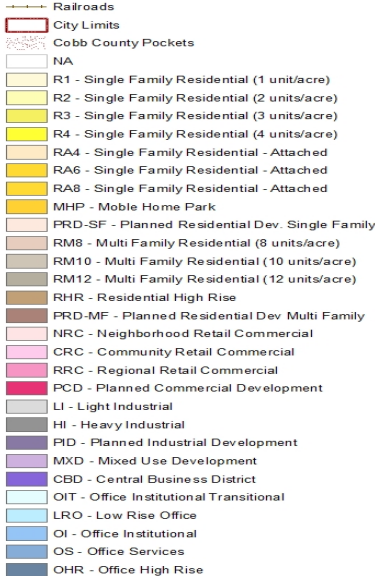
































 Railroads

































 City Limits

 Cobb County Pockets

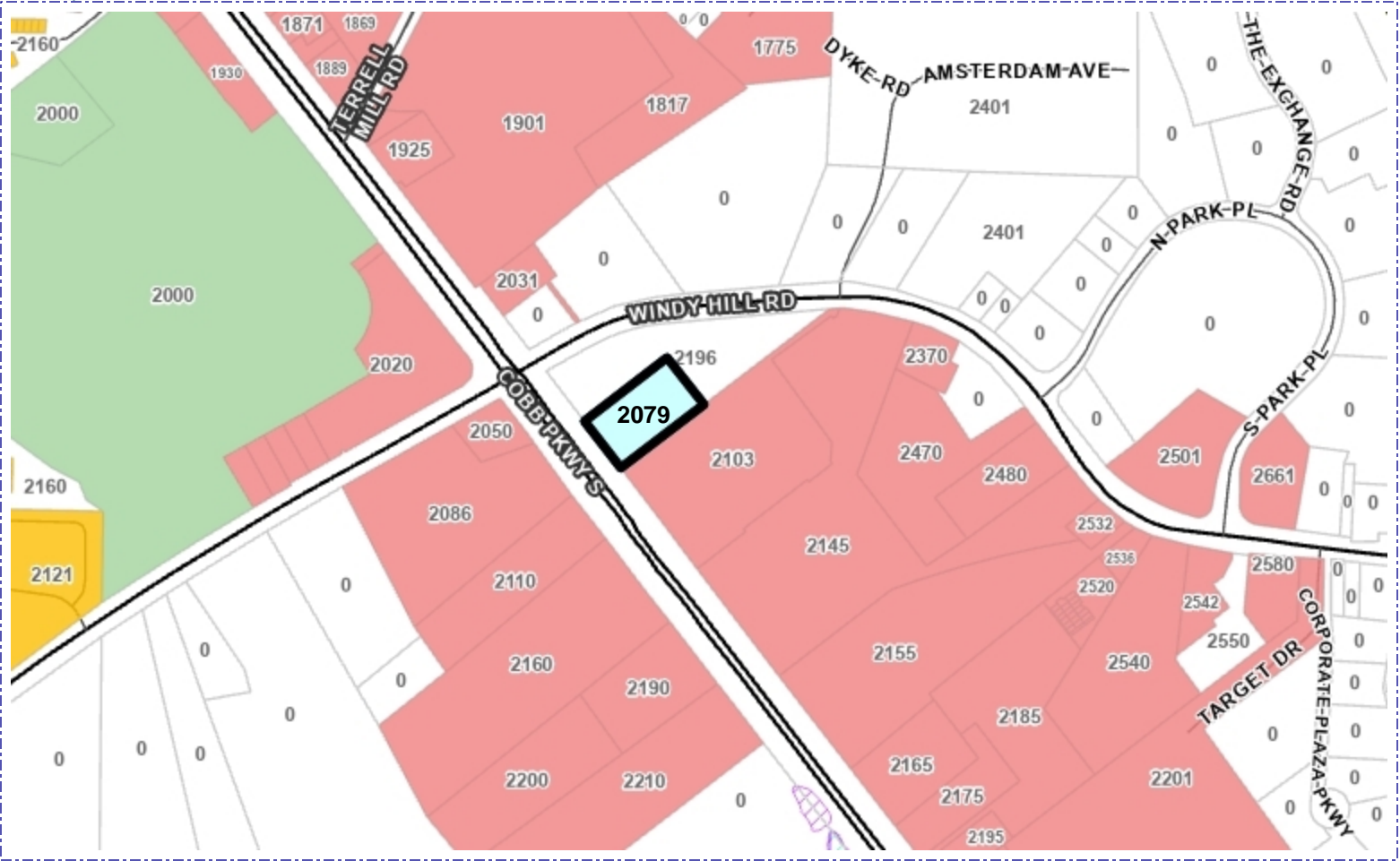
Rezoning




















Address		Parcel Number	Acreage	Ward	Zoning	FLU
2079 Cobb Parkway S.		C	1.954			
Property Owner: Voyles Family Partnership, LLLP				Zoning Symbols  <ul style="list-style-type: none"> Railroads City Limits Cobb County Pockets NA R1 - Single Family Residential (1 unit/acre) R2 - Single Family Residential (2 units/acre) R3 - Single Family Residential (3 units/acre) R4 - Single Family Residential (4 units/acre) RA4 - Single Family Residential - Attached RA6 - Single Family Residential - Attached RA8 - Single Family Residential - Attached MHP - Mobile Home Park PRD-SF - Planned Residential Dev. Single Family RM8 - Multi Family Residential (8 units/acre) RM10 - Multi Family Residential (10 units/acre) RM12 - Multi Family Residential (12 units/acre) RHR - Residential High Rise PRD-MF - Planned Residential Dev. Multi Family NRC - Neighborhood Retail Commercial CRC - Community Retail Commercial RRC - Regional Retail Commercial PCD - Planned Commercial Development LI - Light Industrial HI - Heavy Industrial PID - Planned Industrial Development MXD - Mixed Use Development CBD - Central Business District OIT - Office Institutional Transitional LRO - Low Rise Office OI - Office Institutional OS - Office Services OHR - Office High Rise		
Applicant: Steven T. Ellis						
Proposed Zoning: CRC						
Agent:						
Proposed Use:						
Planning Commission Date: 01/04/2022						
City Council Hearing Date: 01/12/2022		Case Number: Z2022-02				
City of Marietta Planning & Zoning						

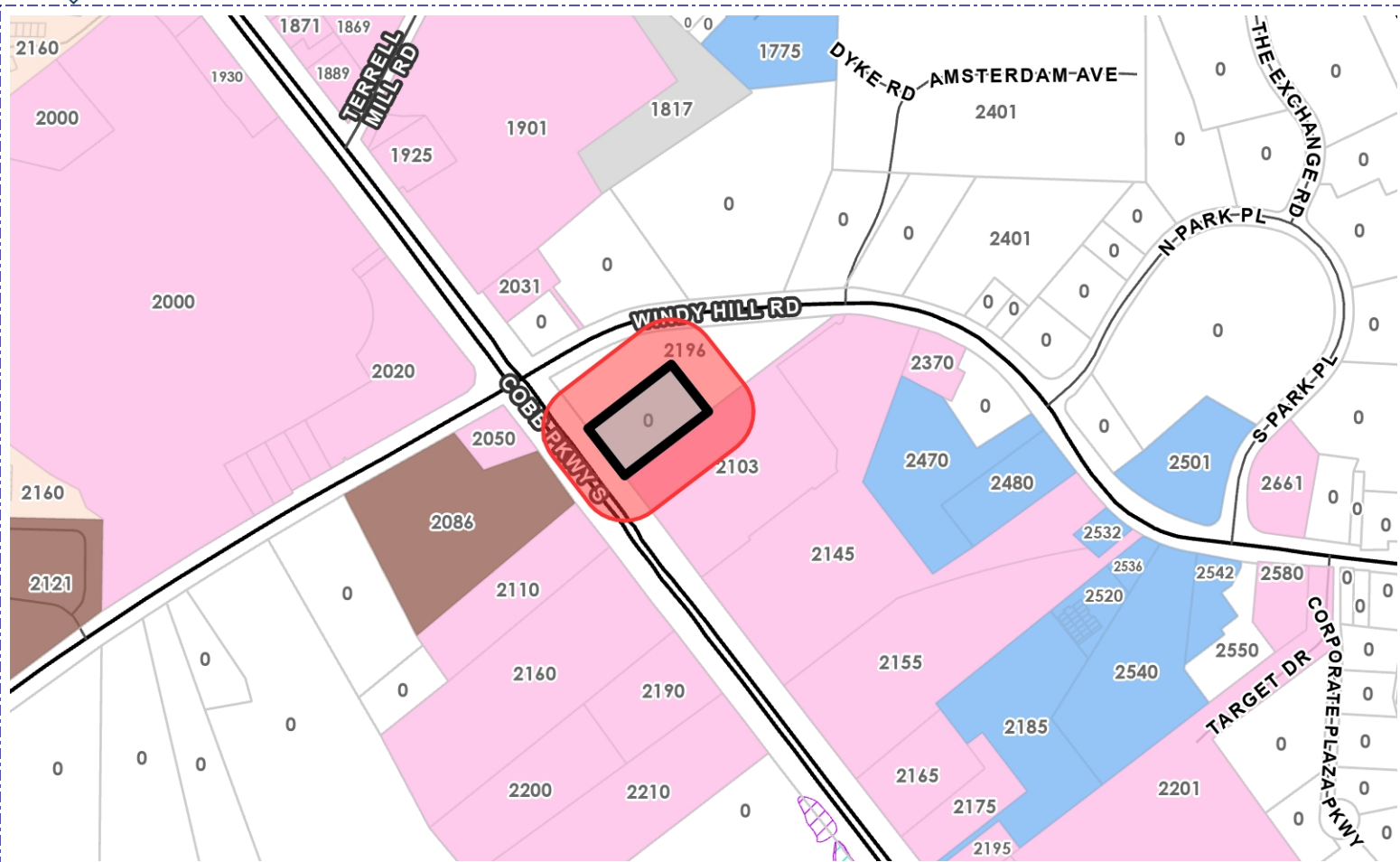
Zoning Symbols	
	Railroads
	City Limits
	Cobb County Pockets
	NA
	R1 - Single Family Residential (1 unit/acre)
	R2 - Single Family Residential (2 units/acre)
	R3 - Single Family Residential (3 units/acre)
	R4 - Single Family Residential (4 units/acre)
	RA4 - Single Family Residential - Attached
	RA6 - Single Family Residential - Attached
	RA8 - Single Family Residential - Attached
	MHP - Mobile Home Park
	PRD-SF - Planned Residential Dev. Single Family
	RM8 - Multi Family Residential (8 units/acre)
	RM10 - Multi Family Residential (10 units/acre)
	RM12 - Multi Family Residential (12 units/acre)
	RHR - Residential High Rise
	PRD-MF - Planned Residential Dev Multi Family
	NRC - Neighborhood Retail Commercial
	CRC - Community Retail Commercial
	RRC - Regional Retail Commercial
	PCD - Planned Commercial Development
	LI - Light Industrial
	HI - Heavy Industrial
	PID - Planned Industrial Development
	MXD - Mixed Use Development
	CBD - Central Business District
	OIT - Office Institutional Transitional
	LRO - Low Rise Office
	OI - Office Institutional
	OS - Office Services
	OHR - Office High Rise

Future Land Use
































Address	Parcel Number	Acreage	Ward	Zoning	FLU
2079 Cobb Parkway S.	C	1.954			
Planning Commission Hearing Date:	01/04/2022	<div>Future Land Use Symbols</div> <div><div> Railroads</div><div> City Limits</div><div> Cobb County Pockets</div><div> RAC - Regional Activity Center</div><div> CAC - Community Activity Center</div><div> NAC - Neighborhood Activity Center</div><div> CBD - Central Business District</div><div> MXD - Mixed Use Development</div><div> CSI - Community Service and Institutional</div><div> HDR - High Density Residential</div><div> MDR - Medium Density Residential</div><div> LDR - Low Density Residential</div><div> OSC - Open Space / Conservation</div><div> PR - Parks / Recreation</div><div> IW - Industrial Warehousing</div><div> IM - Industrial Manufacturing</div><div> TCU - Transportation and Utilities</div></div>			
City Council Hearing Date:	01/12/2022				
Future Land Use:	CAC (proposed)				
Case Number:					
Comments:					
City of Marietta Planning & Zoning					

200ft Buffer



Address	Parcel Number	Acreage	Ward	Zoning	FLU
2079 Cobb Parkway S.	C	1.954			

Property Owner:		Voyles Family Partnership, LLLP	Zoning Symbols  Railroads  City Limits  Cobb County Pockets  NA  R1 - Single Family Residential (1 unit/acre)  R2 - Single Family Residential (2 units/acre)  R3 - Single Family Residential (3 units/acre)  R4 - Single Family Residential (4 units/acre)  RA4 - Single Family Residential - Attached  RA6 - Single Family Residential - Attached  RA8 - Single Family Residential - Attached  MHP - Mobile Home Park  PRD-SF - Planned Residential Dev. Single Family  RM8 - Multi Family Residential (8 units/acre)  RM10 - Multi Family Residential (10 units/acre)  RM12 - Multi Family Residential (12 units/acre)  RHR - Residential High Rise  PRD-MF - Planned Residential Dev. Multi Family  NRC - Neighborhood Retail Commercial  CRC - Community Retail Commercial  RRC - Regional Retail Commercial  PCD - Planned Commercial Development  LI - Light Industrial  HI - Heavy Industrial  PID - Planned Industrial Development  MXD - Mixed Use Development  CBD - Central Business District  OIT - Office Institutional Transitional  LRO - Low Rise Office  OI - Office Institutional  OS - Office Services  OHR - Office High Rise	
Applicant:		Steven T. Ellis		
Proposed Zoning:		CRC		
Agent:				
Proposed Use:				
Planning Commission Date:		01/04/2022		BZA Hearing Date:
City Council Hearing Date:		01/12/2022		Case Number: Z2022-02
City of Marietta Planning & Zoning				

Zoning Symbols	
	Railroads
	City Limits
	Cobb County Pockets
	NA
	R1 - Single Family Residential (1 unit/acre)
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	OIT - Office Institutional Transitional
	LRO - Low Rise Office
	OI - Office Institutional
	OS - Office Services
	OHR - Office High Rise

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RESERVED FOR COURT CLERK

PROPERTY LINE DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 781 OF THE 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY OF WINDY HILL ROAD (R/W VARIES) AND THE EASTERLY RIGHT-OF-WAY COBB PARKWAY/U.S. HIGHWAY 41 (R/W VARIES);

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY OF COBB PARKWAY, SOUTH 37 DEGREES 39 MINUTES 04 SECONDS EAST, 195.20 FEET TO A 5/8" REBAR SET, SAID POINT BEING THE TRUE POINT OF BEGINNING;

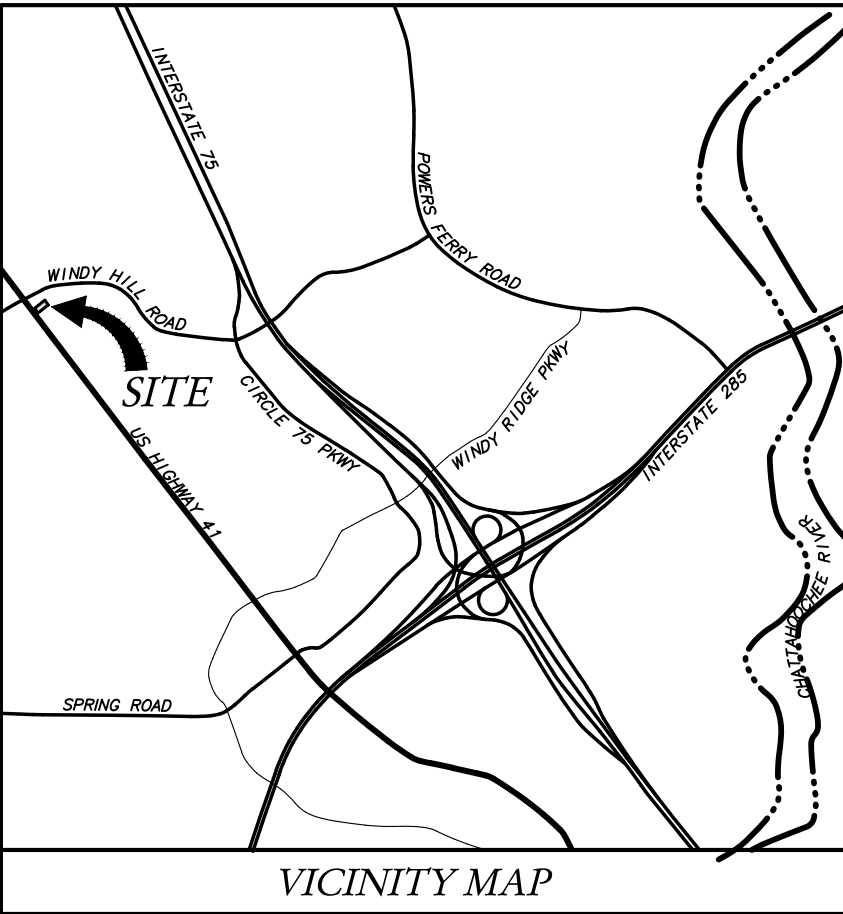
THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY ALONG THE BOUNDARIES OF THE LANDS OF CAR SPA HOLDINGS, LP (DB 13250, PG 2826) THE FOLLOWING COURSES AND DISTANCES: NORTH 52 DEGREES 45 MINUTES 04 SECONDS EAST, 400.00 FEET TO A 5/8" REBAR SET, SOUTH 37 DEGREES 40 MINUTES 08 SECONDS EAST, 225.00 FEET TO A 1/2" REBAR FOUND ON THE NORTHERLY BOUNDARY OF THE LANDS OF VOYLES FAMILY PARTNERSHIP (DB 13670, PG 2440);

THENCE ALONG SAID NORTHERLY BOUNDARY OF THE LANDS OF VOYLES FAMILY PARTNERSHIP, SOUTH 52 DEGREES 45 MINUTES 04 SECONDS WEST, 400.07 FEET TO A 5/8" REBAR SET ON SAID EASTERLY RIGHT-OF-WAY OF COBB PARKWAY;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 37 DEGREES 39 MINUTES 04 SECONDS WEST, 225.00 FEET TO A 5/8" REBAR SET, SAID POINT BEING THE TRUE POINT OF BEGINNING;

SAID TRACT OR PARCEL OF LAND CONTAINS 2.066 ACRES.

ANNEXATION PLAT FOR
VOYLES FAMILY PARTNERSHIP LLLP.
2079 COBB PARKWAY
2.066 ACRES OF LAND
COBB COUNTY
PARCEL IDENTIFICATION NUMBER: 17078100040



SURVEY NOTES

A LEICA ROBOTIC TOTAL STATION WITH A VIVA CS-15 DATA COLLECTOR WITH CARLSON SURV CE SOFTWARE WERE USED TO OBTAIN THE ANGULAR AND LINEAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED A CLOSED TRAVERSE WITH A HORIZONTAL CLOSURE CALCULATED TO BE 1:22,704 WITH AN ANGULAR ERROR OF 2.9 SECONDS TO THE SQUARE ROOT OF N. THE TRAVERSE WAS ADJUSTED USING THE LEAST SQUARES METHOD.

THE HORIZONTAL AND VERTICAL DATUM FOR THIS SURVEY IS BASED ON GPS OBSERVATION WITH A LEICA GS14 GPS RECEIVER ON THE "SMART NET" HARN NETWORK WITH REDUCTION TO GEORGIA STATE PLANE COORDINATES (WESTERN ZONE).

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 457,458 FEET.

THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD AREA BASED ON THE FLOOD INSURANCE RATE MAP FOR THIS AREA. THE MAP NUMBER FOR THIS AREA IS 13067C0138G, AND THE DATE OF SAID MAP IS DECEMBER 16, 2008. THIS DETERMINATION WAS MADE BY GRAPHICALLY DETERMINING THE POSITION OF THIS SITE ON SAID FIRM MAPS UNLESS OTHERWISE NOTED.

THIS PARCEL IS CURRENTLY ZONED GENERAL COMMERCIAL-GC BUILDING SETBACKS:
FRONT 50 FEET
SIDE 10 FEET
REAR 30 FEET
MAX BUILDING HEIGHT 4 STORIES

UTILITIES SHOWN ON THIS PLAT ARE BASED ON VISIBLE ABOVE GROUND EVIDENCE. UNDERGROUND UTILITIES MAY EXIST IN THIS SITE THAT ARE NOT SHOWN ON THIS SURVEY.

THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING ACTIVITY ON THE SITE ITSELF. THE RIGHT-OF-WAY OF COBB PARKWAY IS CURRENTLY UNDER CONSTRUCTION.

THERE WAS NO OBSERVED EVIDENCE OF MARKINGS FOR WETLANDS ON THE SITE AT THE TIME OF THE SURVEY.

SURVEY REFERENCES

- REFERENCE A LOT SPLIT PLAT FOR CAR SPA GA HOLDINGS, LP, PREPARED BY CARTER ENGINEERING CONSULTANTS, INC., LAST REVISED 9-6-13.
- REFERENCE AN ALTA SURVEY PREPARED BY AYERCORP, DATED MARCH 31, 1999.
- REFERENCE CONSTRUCTION PLANS FOR SR 3/US 41/COBB PKWY AND WINDY HILL RD/OR 1720 INTERSECTION IMPROVEMENTS AND QUEUE JUMPER LANE FOR THE COBB COUNTY DEPARTMENT OF TRANSPORTATION, PROJECT NUMBER E3030 & E1000, APPROVED 8/05/2014.

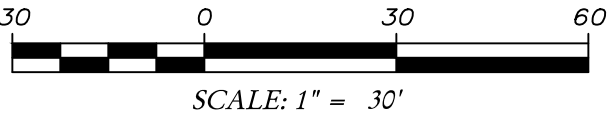
SURVEYOR'S CERTIFICATION

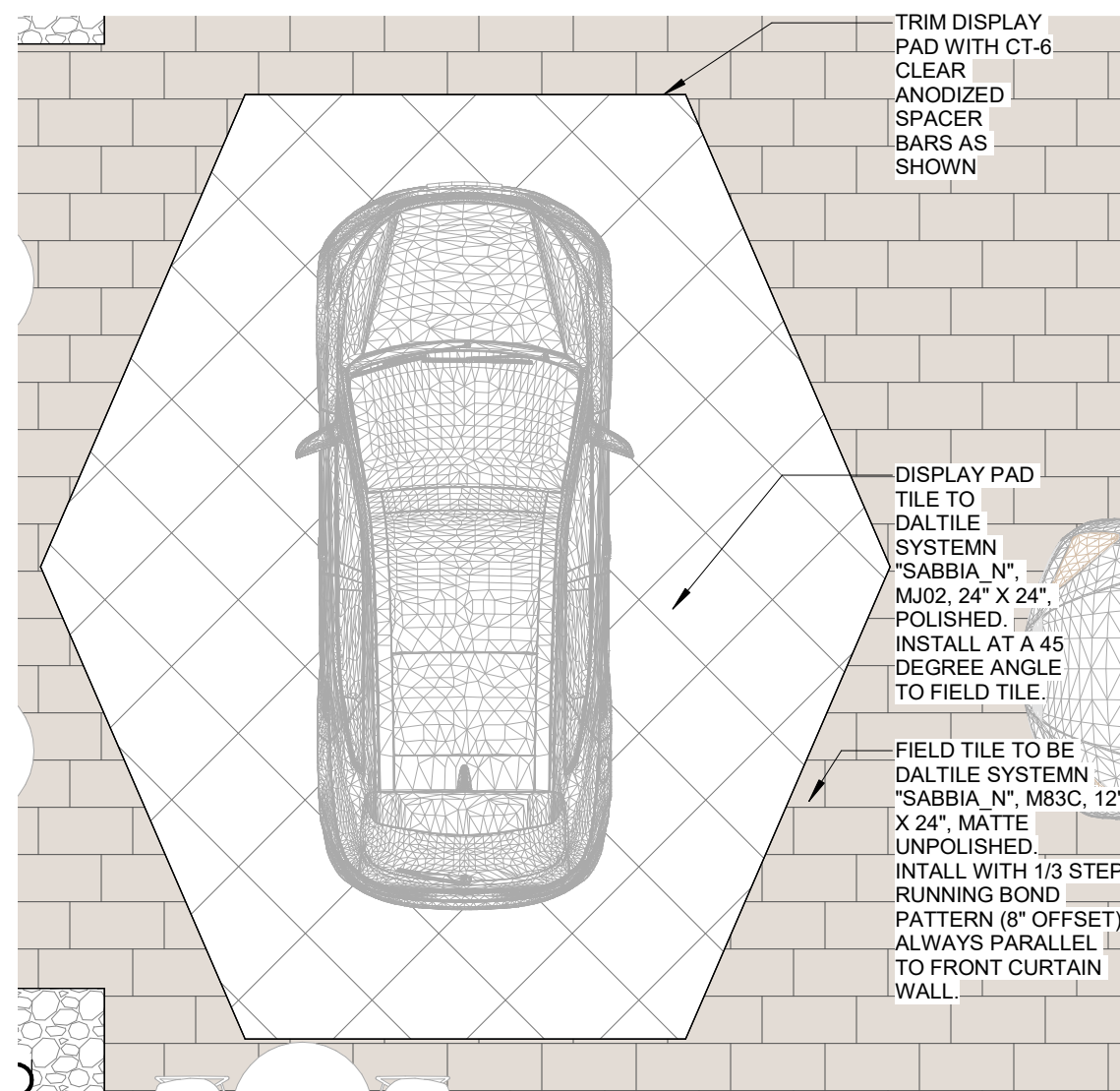
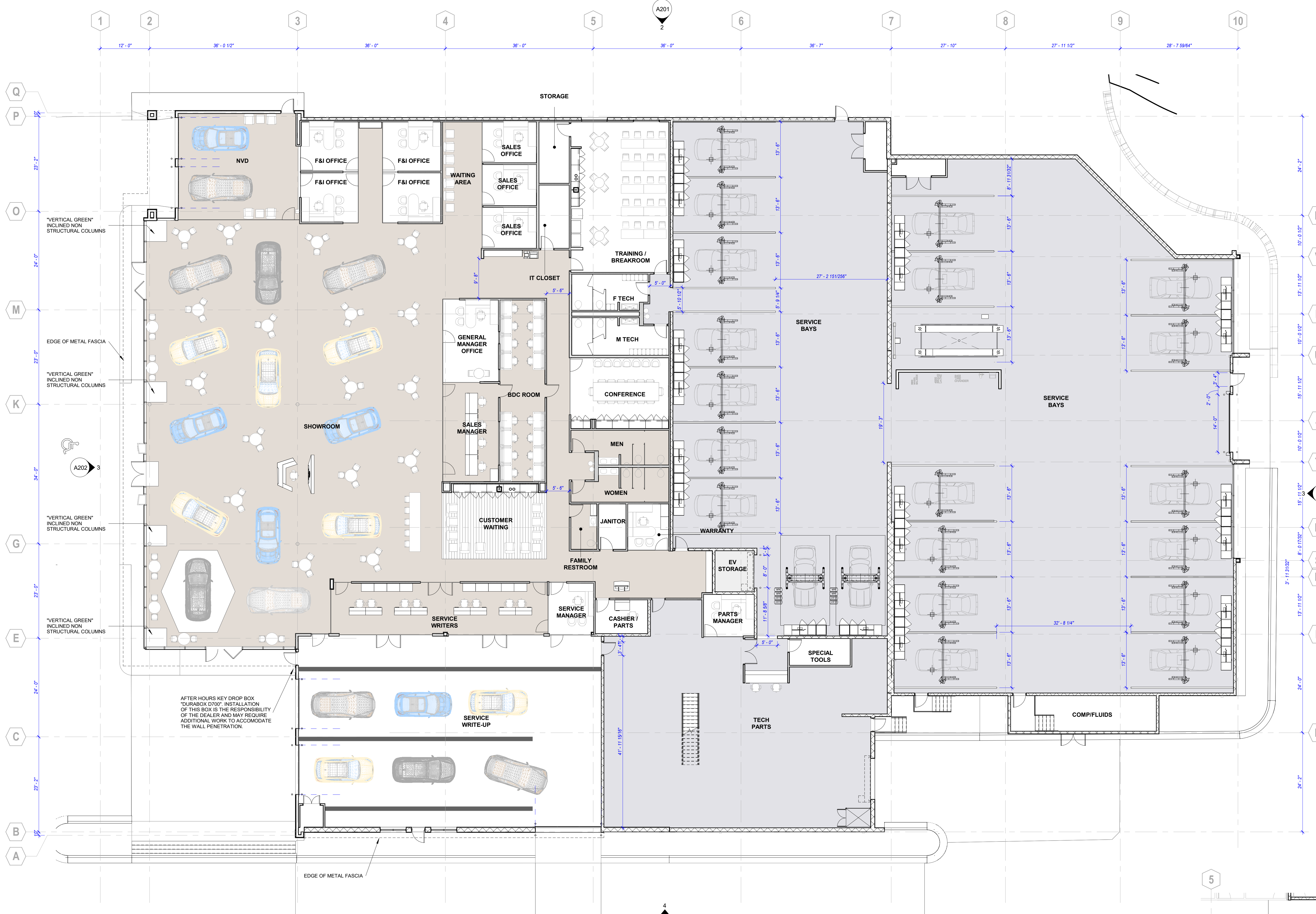
THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THAT PARCEL OR PARCELS ARE STATED HERE ON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS SET FORTH IN O.C.G.A. SECTION 15-6-17.



JOSEPH T. BAKER, LS GA # 2674
DATE NOVEMBER 3, 2021

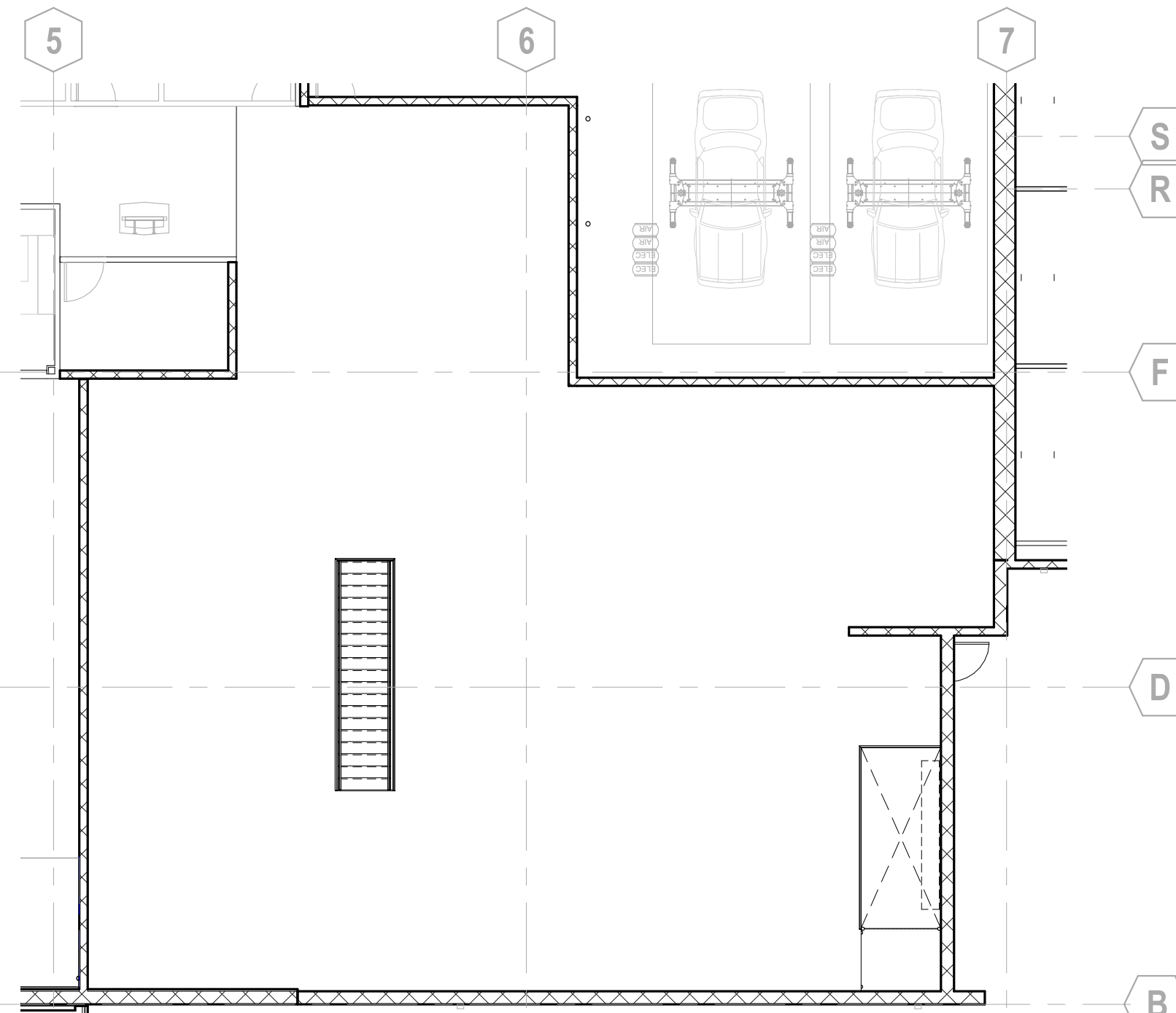
LEGEND		
POB	POINT OF BEGINNING	⊕ FIRE HYDRANT
POC	POINT OF COMMENCEMENT	⊕ WATER VALVE
RBS	REBAR SET	⊕ WATER METER
RBF	REBAR FOUND	⊕ GAS METER
MNF	MAG NAIL FOUND	⊕ POWER METER
MNS	MAG NAIL SET	⊕ ELECTRICAL BOX
CTP	CRIMP TOP PIPE FOUND	⊕ POWER POLE
OTF	OPEN TOP PIPE FOUND	⊕ OVERHEAD UTILITIES
OMF	CONCRETE MONUMENT FOUND	⊕ GUY WIRE
DI	DROP INLET	⊕ ROOF DRAIN
CI	CATCH INLET	⊕ DROP INLET
MI	MANHOLE	⊕ JUNCTION BOX
OCS	OUTLET CONTROL STRUCTURE	⊕ SINGLE WING CATCH BASIN
JB	JUNCTION BOX	⊕ DOUBLE WING CATCH BASIN
SWCB	SINGLE WING CATCH BASIN	⊕ HEAD WALL
DWCB	DOUBLE WING CATCH BASIN	⊕ FLARED END SECTION
HW	HEADWALL	⊕ UNDERGROUND GAS LINE
FES	FLARED END SECTION	⊕ UNDERGROUND WATER LINE
UMP	UNDERGROUND METAL PIPE	⊕ UNDERGROUND ELECTRIC LINE
RCP	REINFORCED CONCRETE PIPE	⊕ UNDERGROUND TELECOM
SS	SANITARY SEWER	⊕ SANITARY SEWER LINE
F.M.E.	FORCE MAIN EASEMENT	⊕ SANITARY SEWER MANHOLE
S.S.E.	SANITARY SEWER EASEMENT	⊕ CLEAN OUT
D.E.	DRAINAGE EASEMENT	⊕ GREASE TRAP
W.E.	WATER EASEMENT	⊕ FENCE
		⊕ BOLLARD
		⊕ SPOT ELEVATION





2
A131
LEAD CAR ZONE DISPLAY PAD
1/4" = 1'-0"

1
A131
PROPOSED - FIRST FLOOR PLAN
3/32" = 1'-0"



3
A131
PROPOSED-PARTS MEZZ.
3/32" = 1'-0"

PLAN NOTES

- SEE CODE PLAN FOR FIRE EXTINGUISHERS.
- SEE SLAB PLANS FOR SLAB EDGES, INSETS, IMBEDS, AND MASONRY WALLS THAT FORM SLAB EDGES.
- SEE ADA PLAN FOR ACCESSIBLE ROUTE, CLEARANCES AND FLOOR ELEVATION CHANGES.
- SEE FINE PLAN FOR FURNITURE, FIXTURES, MILLWORK, AND EQUIPMENT.
- ALL DIMENSIONS ARE TO FACE OF GYP, FACE OF CMU, OR FACE OF STOREFRONT FRAMING UNLESS NOTED OTHERWISE.
- SEE FINISH PLAN FOR WALL TILE AND WOOD WALL PANEL LOCATIONS.
- SEE PARTITION TYPES LEGEND FOR PARTITION SECTION AND DESCRIPTION.
- PARTITIONS SHOWN ARE FOR ARCHITECTURAL COORDINATION. WHERE PROVIDED, REFER TO METAL STUD ENGINEERING DRAWINGS FOR STUD SIZES.
- TOP ELEVATION REPRESENTS TOP OF GYP FINISH. STUD FRAMING MAY CONTINUE TO DECK, OR BE BRACED TO DECK, AS REQUIRED BY ENGINEERED STUD DRAWINGS. GC SHALL FIELD COORDINATE WITH OTHER BUILDING SYSTEMS.

METAL STUD ENGINEERING

ALL METAL STUD CONSTRUCTION SHALL BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE JURISDICTION WHERE THIS PROJECT IS LOCATED. IF ENGINEERED STUD DRAWINGS AND CALCULATIONS ARE NOT PROVIDED BY THE DESIGN TEAM AS PART OF THE CONTRACT DOCUMENTS, THE GC AND ITS SUBCONTRACTOR SHALL PROVIDE STUD ENGINEERING DRAWINGS AND CALCULATIONS, SEALED BY AN ENGINEER, SUBMITTED TO THE DESIGN TEAM FOR REVIEW, AND SUBMITTED TO THE LOCAL AUTHORITY HAVING JURISDICTION AS REQUIRED.

SEE STRUCTURAL DRAWINGS, STUD DRAWINGS, AND SPECIFICATIONS FOR DESIGN CRITERIA.

NOT ALL STUD FRAMING MAY BE SHOWN. GC SHALL PROVIDE STUD FRAMING AT ALL LOCATIONS WHERE SHEATHING AND FINISHES ARE SHOWN THAT REQUIRE SUPPORT.

- THESE ITEMS, INCLUDING MEMBER SIZES, SPACING, AND CONNECTIONS, SHALL BE ENGINEERED:
A) ALL EXTERIOR FRAMING.
B) INTERIOR AND EXTERIOR CONNECTIONS WHERE STUDS ARE HUNG FROM THE DECK OR STRUCTURE ABOVE.
C) INTERIOR FRAMING USED AS SUPPORT FOR ACCORDIAN PARTITIONS.
D) INTERIOR PARTITIONS TO DECK 12FT IN HEIGHT OR TALLER.
- THESE ITEMS ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTOR AND DO NOT REQUIRE SEALED ENGINEERING (SUBJECT TO LOCAL AUTHORITY REQUIREMENTS):
A) INTERIOR PARTITIONS LESS THAN 12 FT IN HEIGHT.
B) INTERIOR PARTITION OVERHEAD BRACING.
C) CONNECTIONS TO STRUCTURE ABOVE AND TO FLOOR, OF FLOOR MOUNTED INTERIOR PARTITIONS.
- INTERIOR PARTITIONS TO RECEIVE TILE FINISH SHALL BE ENGINEERED FOR DEFLECTION L/260 PER ANSI 108.11 AS RECOMMENDED BY THE TONA. STUD SPACING AT INTERIOR TILED WALLS SHALL BE 16" O.C.
- OVERHEAD CONNECTIONS OF HANGING STUD FRAMING SHALL NOT USE POWDER DRIVEN FASTENERS UNLESS APPROVED BY THE STUD ENGINEER OR PROJECT ENGINEER OF RECORD.
- DEFLECTION - REFER TO STRUCTURAL AND/OR STUD ENGINEERING DRAWINGS. IF NOT SHOWN, LIMIT DEFLECTION TO L/600 WHERE BACKING MASONRY OR STUCCO, AND L/600 WHEN BACKING EPS OR METAL PANEL SIDING.
- UNLESS OTHERWISE INDICATED BY ENGINEERING DESIGN, STUD SPACING MAY BE 24" O.C.
- IN JURISDICTIONS REQUIRING NOA OR OTHER APPROVALS FOR SYSTEMS INCLUDING, BUT NOT LIMITED TO, EPS, STUCCO, METAL PANELS, AND MASONRY VENEERS, THE NOA DESIGN WILL GOVERN. PLEASE REFER TO NOA NUMBERS SHOWN ELSEWHERE IN THESE DRAWINGS.

PARTITION SYMBOL LEGEND

W034 10'-0" = W034 + PARTITION TYPE 10'-0" ELEVATION TO TOP OF GYP FINISH

W034 10'-0" = W034 + PARTITION TYPE 10'-0" ELEVATION TO TOP OF GYP FINISH

W034 10'-0" = W034 + PARTITION TYPE 10'-0" ELEVATION TO TOP OF GYP FINISH

PARTITION LEGEND

1-HOUR FIRE BARRIER

2-HOUR FIRE BARRIER

3-HOUR FIRE BARRIER

EXISTING PARTITION

PROPOSED PARTITION

FIRE EQUIPMENT LEGEND

FE SURFACE MOUNTED FIRE EXTINGUISHER

FEC RECESSED OR SEMI-RECESSED FIRE EXTINGUISHER CABINET

FACP FIRE ALARM CONTROL PANEL

FACP FIRE ALARM ANNUNCIATOR PANEL

ALL FIRE EXTINGUISHERS ARE TO MEET OR EXCEED NFPA 10 CODE STANDARDS. FIRE ALARM EQUIPMENT SHOWN HERE SHALL BE SUPERSEDED BY DESIGNS CREATED BY THE FIRE ALARM ENGINEER. FIRE ALARM EQUIPMENT SHOWN HERE ONLY FOR COORDINATION.

GRIDLINE TYPE LEGEND

NEW GRIDLINE

EXISTING GRIDLINE

F.O. MASONRY GRIDLINE

Nx "N" - NEW WORK SCOPE

Ex "E" - EXISTING CONSTRUCTION

SCOPE OF WORK LEGEND

NOTE: THESE DESIGNATIONS ARE SPECIFIC TO EACH DRAWING SHEET. GC SHALL REVIEW SCOPE INDICATED ON EVERY SHEET.

HATCH REPRESENTS AREAS OUT OF PROJECT SCOPE. NO WORK SHALL BE DONE IN THESE AREAS, U.N.O.

IN-SCOPE WORK IS SPECIFICALLY DETAILED IN THE CONSTRUCTION DOCUMENTS.

HATCH REPRESENTS AREAS OF LIMITED SCOPE. SEE NOTE BELOW.

LIMITED SCOPE INCLUDES WALL PAINT, WALL BASE, ELECTRICAL DEVICE COVER PLATES & DIFFUSERS, GRILLES, AND REGISTERS. REPAIR AND PREP EXISTING CONSTRUCTION AS REQUIRED PRIOR TO PAINTING FOR "LIKE NEW" CONDITION. REPAIR/REPLACE WALL BASE & ELECTRICAL DEVICE COVER PLATES AS REQUIRED. REPLACE DAMAGED DIFFUSERS AND GRILLES TO MATCH ADJACENT SPECIFICATION AND CLEAN ALL DIFFUSERS AND GRILLES DETERMINED TO REMAIN. THESE ITEMS MUST BE VISIBLY INSPECTED BY THE GC TO DETERMINE SCOPE AND PRICE FOR THE CLIENT AT THE TIME OF BID. THESE ITEMS ARE NOT SPECIFICALLY INDICATED IN THIS SET OF CONSTRUCTION DOCUMENTS.

ysm DESIGN
architecture+planning

1320 Ellsworth Industrial Blvd
Suite A-100
Atlanta GA 30318
404-249-4555 tel
404-355-6504 fax

305 N. Coast Hwy
Suite L
Laguna Beach CA 92651
949-715-4275
www.ysmdesign.com

NOT RELEASED FOR CONSTRUCTION

Signed & Sealed:

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Rev	Date	Comments

CAD FILES

A release form must accompany the distribution of cad files from YSM Design PC and must be executed and returned prior to use of this CAD file. By using this CAD file, the user agrees to the terms of the release form, as stated below, regardless of execution of the form.

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PRO BUILDING SYSTEMS
DESIGN BUILD CONTRACTORS

Client:
ED VOYLES HYUNDAI

2079 COBB PARKWAY
SOUTHEAST, SMYRNA, GA

Project:
ED VOYLES HYUNDAI

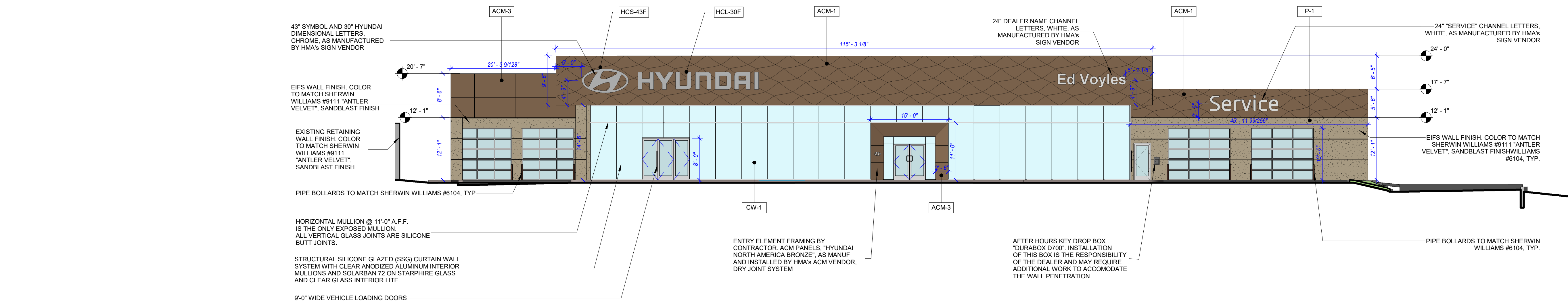
2079 COBB PARKWAY
SOUTHEAST, SMYRNA, GA

Project Number: 20023
Drawn By: Author
Checked By: AEA
Approved By: YSM

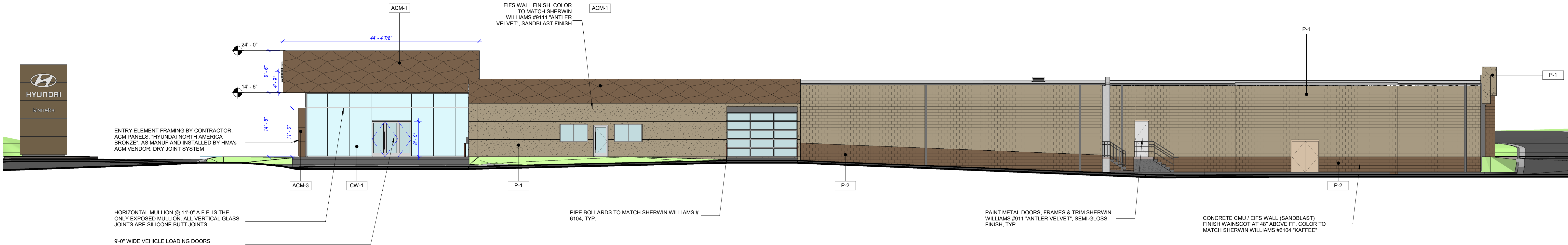
Sheet Title:
FIRST FLOOR PLAN

Sheet Number:
A131

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10/31/2021 9:08:15 PM



3
A202
PROPOSED WEST ELEVATION.
3/32" = 1'-0"



4
A202
PROPOSED - SOUTH ELEVATION.
3/32" = 1'-0"

EXTERIOR FINISH MATERIAL LEGEND - HYUNDAI OF MARIETTA								
FINISH MATERIAL TYPE	MARK	MATERIAL	MANUFACTURER	NUMBER / PRODUCT LINE	COLOR / PATTERN / NAME	SIZE / TYPE / SHEEN	REMARKS	CONTACTS
EXT. MATERIALS	ACM-1	SHAPED SKY METAL FASCIA	HMA SURVEY VENDOR	PROPRIETARY PRODUCT AND COLOR	COMPLETE RAIN SCREEN ACM SYSTEM BLACK WITH 4MM SHAPED SKY PANEL OVERLAY, BRONZE	(SEE NOTE 1)	FASCIA AT SHOWROOM AND SERVICE DRIVE	CONTACT: JODY MUNSEY AT HMA SURVEY VENDOR 865-692 1242 X 3218
	ACM-2	SHAPED SKY METAL CEILING PANELS	HMA SURVEY VENDOR	PROPRIETARY PRODUCT AND COLOR	2' X 2' METAL PANELS, BLACK, WITH 4 MM SHAPED SKY PANEL OVERLAY, BRONZE, GRID, ARMSTRONG PRELUDE XL, 15/16", GRID COLOR: TECH BLACK	15/16" EXPOSED TEE (SEE NOTE 2)	LOWER CEILING IN "STEPPED" FASCIA DESIGN; TRAY CEILING IN "STRAIGHT" FASCIA DESIGN; TRAY CEILING OF CUSTOMER WAITING AREAS	NOTES: 1) HMA HAS ESTABLISHED A NATIOPAL VENDOR FOR THESE PRODUCTS. ALL SHAPED SKY ELEMENTS TO BE PROVIDED AND INSTALLED BY HMA SURVAY VENDOR
	ACM-3	ENTRY ELEMENT	HMA SURVEY VENDOR	PROPRIETARY PRODUCT AND COLOR	HYUNDAI NORTH AMERICA BRONZE	(SEE NOTE 3)	WRAP AT FRONT DOOR	2) CEILING PANELS: CONTRACTOR TO INSTALL CEILING GRID PER MANUFACTURER'S INSTRUCTIONS AND CAPABLE OF SUPPORTING CEILING PANEL SYSTEM WEIGHING 2 LBS/SF PLUS MECHANICAL LIGHTING FIXTURE, ETC. LOADS. 3) ENTRY ELEMENT: CONTRACTOR TO FRAME OPENING AROUND DOOR, PROVIDE CIRCUIT FOR SIGN
	ACM-4	EXTERIOR ACM CLADDING	HMA SURVEY VENDOR	SERIES ONE RAINSCREEN ACM CLADDING	ACM: ALUCOBOND PE COLOR: PUEBLO TAN	--	EXTERIOR CLADDING AT SHOWROOM, WRITE-UP DRIVE, SERVICE, PARTS	CONTACT: JODY MUNSEY AT HMA SURVEY VENDOR 865-692 1242 X 3218
DOORS	D-1	EXTERIOR CAR DOOR	KAWNEER OR EQUAL	GLASS	DOOR STYLE AND FINISH TO COORDINATE WITH EXTERIOR GLAZING SYSTEM	--	SHOWROOM	CONTACT: KAWNEER AT 877-767-9107
	D-2	EXTERIOR MAN DOOR	KAWNEER OR EQUAL	GLASS	DOOR STYLE AND FINISH TO COORDINATE WITH EXTERIOR GLAZING SYSTEM	--	SHOWROOM	
	D-3	EXTERIOR MAN DOOR	CECO DOOR OR EQUAL	METAL	--	--	EXTERIOR DOORS AT PARTS AND SERVICE	CONTACT: CECO DOOR AT 731-686-8345
GLAZING SYSTEMS	GL-1 / CW-1	GLAZING SYSTEM: EXTERIOR CURTAIN WALL	KAWNEER OR EQUAL VITRO ARCHITECTURAL GLASS OR EQUAL	STRUCTURAL SILICONE GLAZED (SSG)	MULLIONS: CLEAR ANODIZED ALUMINUM GLAZING: PREFERRED: 1-1/4" SOLARBAN 72 ON STARPHIRE (2) / AIR CAVITY 1/2" / 1-1/4" CLEAR OPTION 1: 1-1/4" SOLARBAN 72 ON STARPHIRE (2) / AIR CAVITY 1/2" / 1-1/4" STARPHIRE OPTION 2: 1-1/4" SOLARBAN 72 ON ACUTY (2) / AIR CAVITY 1/2" / 1-1/4" ACUTY	--	SHOWROOM, DELIVERY AREA	CONTACT: KAWNEER AT 877-767-9107
	SF-1	EXTERIOR STOREFRONT SYSTEM	LOCAL SUPPLIER	--	--	--	SEE ELEVATIONS	
PAINT	P-1	PAINT EXTERIOR	SHERWIN WILLIAMS	--	COLOR: ANTLER VELVET #SW9111 EXTERIOR FINISH: SEMI-GLOSS	--	EXTERIOR WALLS, DOORS, FRAMES	CONTACT: SHERWIN WILLIAMS AT 800-474-3784
	P-2	PAINT EXTERIOR	SHERWIN WILLIAMS	--	COLOR: KAFFEE #SW6104 EXTERIOR FINISH: SEMI-GLOSS	--	4'-0" BASE AT EXTERIOR WALLS OF SERVICE, PARTS, TRAY CEILING OF CUSTOMER WAITING AREAS	
MISC.	CMU	CONCRETE MASONRY UNITS	LOCAL SUPPLIER	--	TO MATCH EPT-2	--	48" ABOVE F.F. / SEE ELEVATIONS	--
	EIFS	EXTERIOR INSULATION FINISHING SYS	LOCAL SUPPLIER	--	TO MATCH EPT-1	--	SEE ELEVATIONS	--

EXTERIOR FINISH GENERAL NOTES

1. EIFS - PROVIDE HI-IMPACT MESH UP TO 8" ABOVE GRADE AT ALL EIFS FINISH LOCATIONS

GENERAL ELEVATION NOTES

1. MECHANICAL LOUVERS AND ANY OTHER UTILITY ACCESSORIES INSTALLED IN AN EXTERIOR WALL SHALL HAVE THE SAME FINISH AS THE WALL IN WHICH THEY ARE INSTALLED UNLESS NOTED OTHERWISE.

2. ANY AND ALL EXTERIOR SIGNAGE SHOWN IS FOR REFERENCE & LOCATION ONLY. SIGNAGE SHALL BE PERMITTED SEPARATELY. G.C. SHALL INSTALL BLOCKING AND PROVIDE ELECTRICAL CONDUITS AND J-BOXES AS NECESSARY. G.C. TO COORDINATE WITH SIGNAGE VENDOR.

SIGNAGE LEGEND

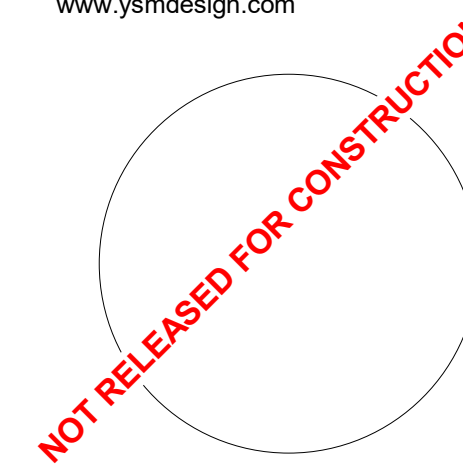
DNW-24F HYUNDAI DEALER NAME 24"
HCS-43F HYUNDAI LOGO 43"
HCL-30F HYUNDAI DIMENSIONAL LETTERS 30"
SW-24F HYUNDAI SERVICE CENTER LETTERS
HEG-12 HYUNDAI ILLUMINATED LOGO & LETTERSET
AS-1 ADDRESS NUMBERS
MIN. 12" IN HEIGHT, CONTRASTING COLOR TO SURROUNDING SURFACE & VISIBLE FROM STREET APPROACH

1320 Ellsworth Industrial Blvd
Suite A-100
Atlanta GA 30318
404-249-4555 tel
404-355-6504 fax



305 N. Coast Hwy
Suite L
Laguna Beach CA 92651
949-715-4275

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BUILDING
SYSTEMS**

DESIGN BUILD
CONTRACTORS

Client:

**ED VOYLES
HYUNDAI**

**2079 COBB PARKWAY
SOUTHEAST, SMYRNA, GA**

Project:

**ED VOYLES
HYUNDAI**

**2079 COBB PARKWAY
SOUTHEAST, SMYRNA, GA**

Project Number: 20023
Drawn By: Author
Checked By: AEA
Approved By: YSM

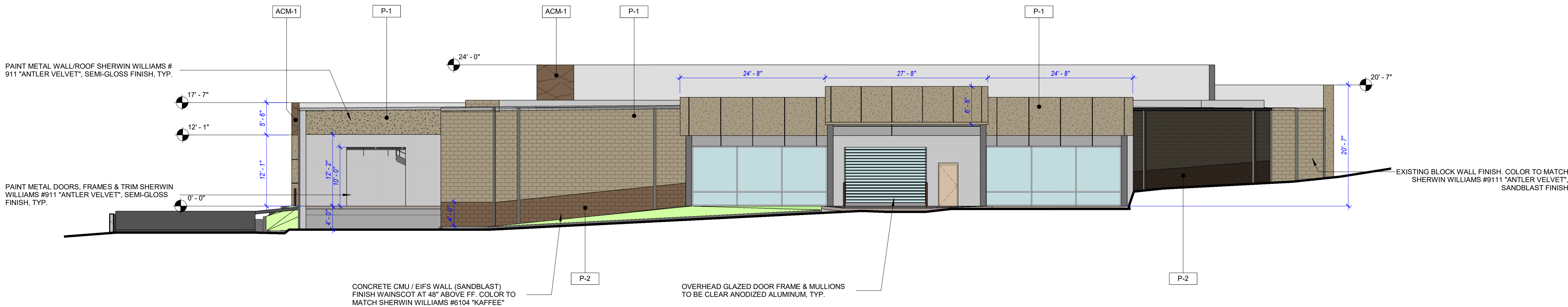
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**BUILDING
ELEVATIONS**

Sheet Number:

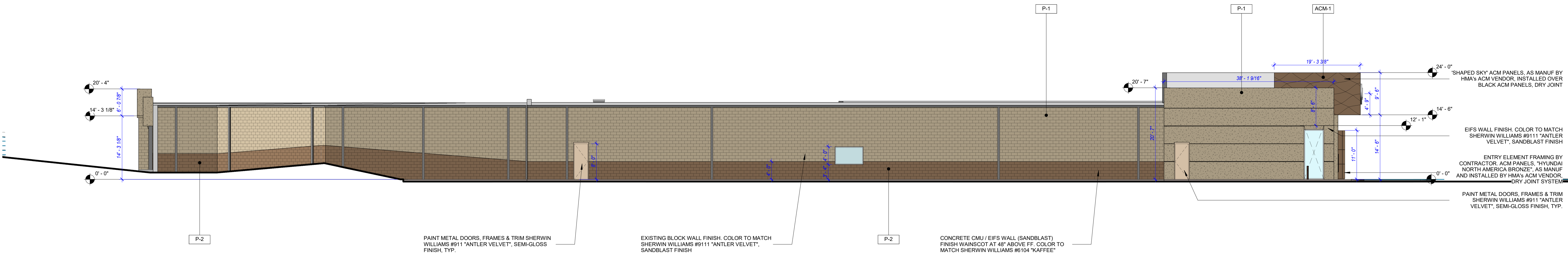
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3 PROPOSED EAST ELEVATION.

3/32" = 1'-0"



2 PROPOSED - NORTH ELEVATION.

3/32" = 1'-0"

EXTERIOR FINISH MATERIAL LEGEND - HYUNDAI OF MARIETTA								
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	ACM-2	SHAPED SKY METAL CEILING PANELS	HMA SURVEY VENDOR	PROPRIETARY PRODUCT AND COLOR	2' X 2' METAL PANELS, BLACK, WITH 4 MM SHAPED SKY PANEL OVERLAY, BRONZE, GRID, ARMSTRONG PRELUDE XL 15/16", GRID COLOR, TECH BLACK	15/16" EXPOSED TEE (SEE NOTE 2)	LOWER CEILING IN "STEPPED" FASCIA DESIGN, TRAY CEILING IN "STRAIGHT" FASCIA DESIGN, TRAY CEILING OF CUSTOMER WAITING AREAS	NOTES: 1) HMA HAS ESTABLISHED A NATIOPAL VENDOR FOR THESE PRODUCTS: ALL SHAPED SKY ELEMENTS TO BE PROVIDED AND INSTALLED BY HMA SURVAY VENDOR
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	D-1	EXTERIOR CAR DOOR	KAWNEER OR EQUAL	GLASS	DOOR STYLE AND FINISH TO COORDINATE WITH EXTERIOR GLAZING SYSTEM	--	SHOWROOM	CONTACT: KAWNEER AT 877-767-9107
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	SF-1	EXTERIOR STOREFRONT SYSTEM	LOCAL SUPPLIER	--	--	--	SEE ELEVATIONS	
PAINT	P-1	PAINT EXTERIOR	SHERWIN WILLIAMS	--	COLOR: ANTLER VELVET #9W9111 EXTERIOR FINISH: SEMI-GLOSS	--	EXTERIOR WALLS, DOORS, FRAMES	CONTACT: SHERWIN WILLIAMS AT 800-474-3794
	P-2	PAINT EXTERIOR	SHERWIN WILLIAMS	--	COLOR: KAFFEE #9W104 EXTERIOR FINISH: SEMI-GLOSS	--	4'-0" BASE AT EXTERIOR WALLS OF SERVICE, PARTS, TRAY CEILING OF CUSTOMER WAITING AREAS	
MISC.	CMU	CONCRETE MASONRY UNITS	LOCAL SUPPLIER	--	TO MATCH EPT-2	--	48" ABOVE F.F. / SEE ELEVATIONS	--
	EIFS	EXTERIOR INSULATION FINISHING SYS.	LOCAL SUPPLIER	--	TO MATCH EPT-1	--	SEE ELEVATIONS	--

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SIGNAGE LEGEND

DNW-24F	HYUNDAI DEALER NAME 24"
HCS-43F	HYUNDAI LOGO 43"
HCL-30F	HYUNDAI DIMENSIONAL LETTERS 30"
SW-24F	HYUNDAI SERVICE CENTER LETTERS
HEG-12 LETTERSET	HYUNDAI ILLUMINATED LOGO & LETTERSET
AS-1	ADDRESS NUMBERS MIN. 12" IN HEIGHT, CONTRASTING COLOR TO SURROUNDING SURFACE & VISIBLE FROM STREET APPROACH



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Project:

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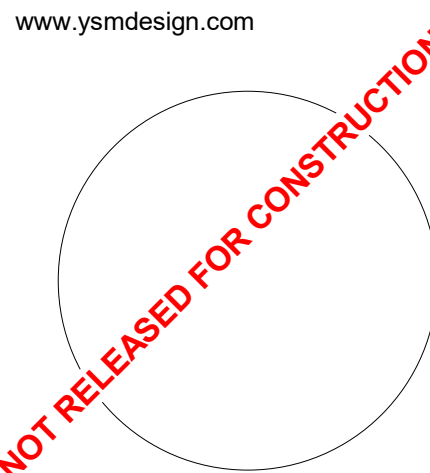
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Drawn By: Author
Checked By: Checker
Approved By: Approver

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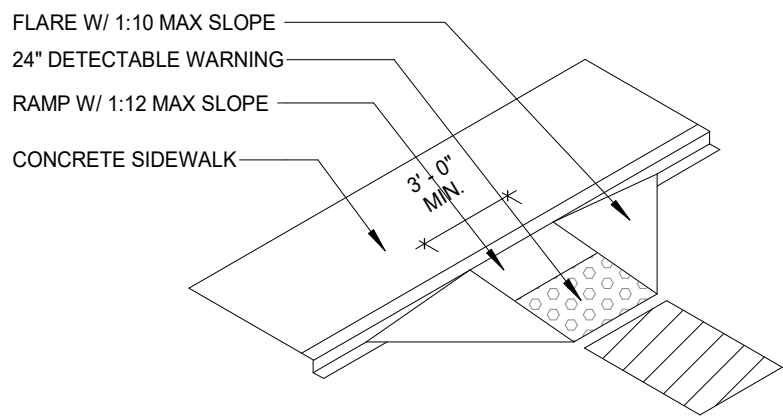
**BUILDING
ELEVATIONS**

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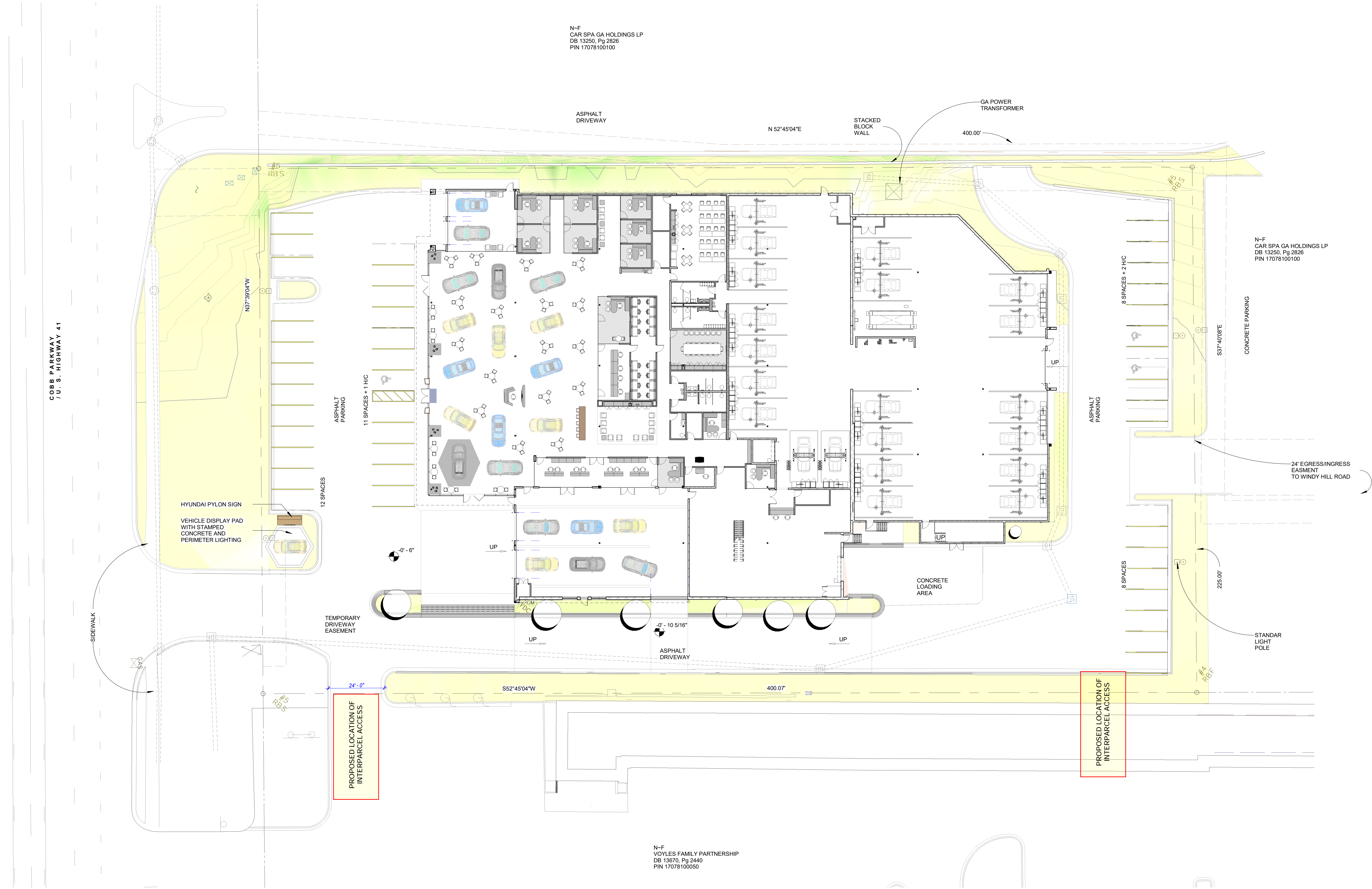
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2
A100
ADA Built-up Curb Ramp
1/8" = 1'-0"



1
A100
PROPOSED - SITE PLAN
3/64" = 1'-0"

ARCH SITE PLAN NOTES

1. SEE FINISH PLAN FOR SIDEWALK, JOINTS AND FINISH PATTERNS
2. SEE CIVIL SHEETS

Pro Building Systems Hyundai Ed Voyles PLANNING GUIDE REQUIREMENTS			Date: Oct 29,2021	
PLANNING GUIDE- 1141				
PLANNING GUIDE		HYUNDAI REQUIREMENT	PROPOSED	
	UNIT	AREA SF	UNIT	AREA SF

SITE			
USEABLE SITE AREA	166,900 SF		34,742 SF

SALES & SHOWROOM			
CUSTOMER FOCUS AREA	7,650 SF		12,945 SF
GENERAL ADMIN	1,750 SF		1,800 SF

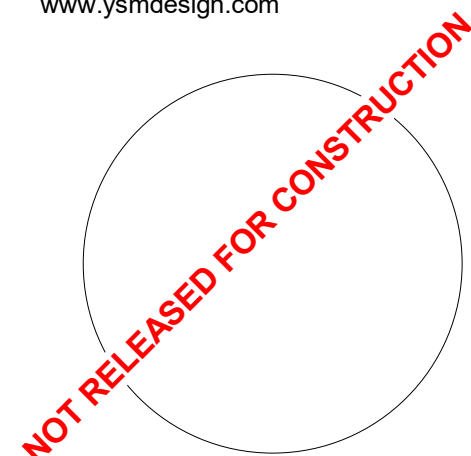
SERVICE DEPARTMENT			
SERVICE DRIVE	1,800 SF		4,200 SF
SERVICE SHOP	9,975 SF		17980 SF
SERVICE LIFTS	19	22	

PARTS DEPARTMENT			
PARTS STORAGE			3,825 SF
PARTS STORAGE (MEZZ.)	3,325 SF		3,502 SF
PARKING			

DISPLAY VEHICLES	6	21	
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TOTAL BUILDING	24,500 SF	44,252 SF	
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PROPOSED PARKING		
DESCRIPTION	PARKING REQUIRED	PROVIDED
SERVICE CUSTOMER PARKING - 9x18'	52	59



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Project Number: 20023
Drawn By: Author
Checked By: AEA
Approved By: YSM

Sheet Title:

ARCHITECTURAL
SITE PLAN

Sheet Number:

A100